

SHEET INDEX

- T1.01 BUILDING EXTERIOR COLOR RENDERING
A1.01 ARCHITECTURAL PLOT PLAN
A1.02 ARCHITECTURAL SITE PLAN (ENLARGED PORTION)
A2.01 FIRST AND SECOND FLOOR PLANS
A2.02 ROOF PLAN
A3.01 EXTERIOR ELEVATIONS
A4.01 BUILDING SECTION
CS-1 SITE SURVEY
E-1.1 SITE LIGHTING/PHOTOMETRIC PLAN & NOTES
C-1 CIVIL TITLE SHEET
C-2 GRADING, DRAINAGE, & L.I.D.PLAN
C-3 GRADING, DRAINAGE, & L.I.D.PLAN
L-1 LANDSCAPE PLAN

SITE SUMMARY

ZONE: A1-1
EXISTING SITE:
TOTAL BUILDING AREA: 121,619 SQ. FT. (5 BUILDINGS: A-3 & B OCCUPANCIES)
TOTAL PAVED/LAND. AREA: 118,604 SQ. FT.
TOTAL PARKING LOT AREA: 128,884 SQ. FT.
TOTAL UNDEVELOPED AREA: 115,919 SQ. FT.
TOTAL SITE AREA: 1185,026 SQ. FT. (4.2 ACRES)

PROPOSED NEW DEVELOPED PAD AREA DATA:

NEW 1-STORY BUILDING:
CONSTRUCTION: V-A (FULLY-SPRINKLERED)
OCCUPANCY GROUPS: B & S-2
NEW BUILDING FOOTPRINT: 6,646 SQ. FT. (0.3% OF TOTAL SITE AREA)
TOTAL BLDG. AREA: 6,646 SQ. FT.

THE EXISTING FAR IS APPROXIMATELY 12X. THE PROPOSED PROJECT WILL INCREASE THE FAR TO APPROXIMATELY 16X. ZONE A1-1 FAR: 3:1

MAXIMUM ALLOWABLE HEIGHT: 45 FEET
PROPOSED NEW BUILDING HEIGHT: 32 FEET

REQUIRED YARD SETBACKS:
FRONT - 25 FEET
SIDE - 25 FEET
REAR - 25 FEET
PROVIDED YARD SETBACKS:
FRONT - 125'-4"
SIDE - 140'-11" & 347'-9"
REAR - 61'-6"

TOTAL BUILDING AREA: 128,265 SQ. FT. (ADDED 6,646 S.F. NEW BLD'G.) (6 BUILDINGS: A-3, B & S-2 OCCUPANCIES)
TOTAL PAVED/LAND. AREA: 129,417 SQ. FT. (ADDED 10,813 S.F. NEW PAVED/LAND)
TOTAL PARKING LOT AREA: 145,695 SQ. FT. (ADDED 16,811 S.F. NEW PK'G. LOT)
TOTAL UNDEVELOPED AREA: 1,61,649 SQ. FT. (DEDUCTED 34,270 S.F.)
TOTAL SITE AREA: 1185,026 SQ. FT. (4.2 ACRES)

PROPOSED HILLSIDE SOLAR PANEL ARRAY:
SOLAR PANEL ARRAY AREA: 11,756 SQ. FT.

VEHICLE PARKING:
EXISTING ON-SITE PARKING: 101 PARKING SPACES (INCLUDING 5 ACCESSIBLE SPACES) (INCLUDING 40 COMPACT SPACES)

REQUIRED PARKING FOR NEW BLD'G:
"B" OCCUPANCY/OFFICE USE 3,517 S.F. / 500 = 8 SPACES
"S-2" OCCUPANCY/STORAGE USE 3,129 S.F. / 500 = 7 SPACES
TOTAL REQUIRED FOR NEW BLD'G: 15 SPACES

PROVIDED NEW PARKING FOR NEW BLD'G: 33 SPACES (INCLUDING 2 NEW ACCESSIBLE SPACES) (INCLUDING 4 NEW EVCS SPACES)
ELECTRIC VEHICLE PARKING SPACE (EVCS): 10% OF 33 PARKING SPACES = 3.3 EVCS REQ. (4 EVCS SPACES PROVIDED)

TOTAL REQUIRED ON-SITE PARKING: 119 SPACES
TOTAL PROVIDED ON-SITE PARKING: 134 SPACES (INCLUDING 8 ACCESSIBLE SPACES) (INCLUDING 40 COMPACT SPACES - 30% OF 135)

BICYCLE PARKING:
REQUIRED FOR OFFICE:
SHORT TERM- 2 SPACES FOR EVERY 8,000 SQ. FT. / LONG TERM- 2 SPACES FOR EVERY 8,000 SQ. FT.
PROPOSED "B" OCCUPANCY/OFFICE USE 3,517 S.F. 2 SHORT TERM SPACES / 2 LONG TERM SPACES

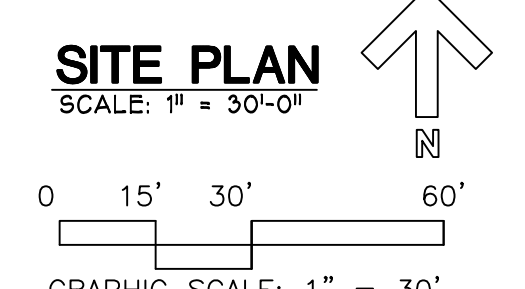
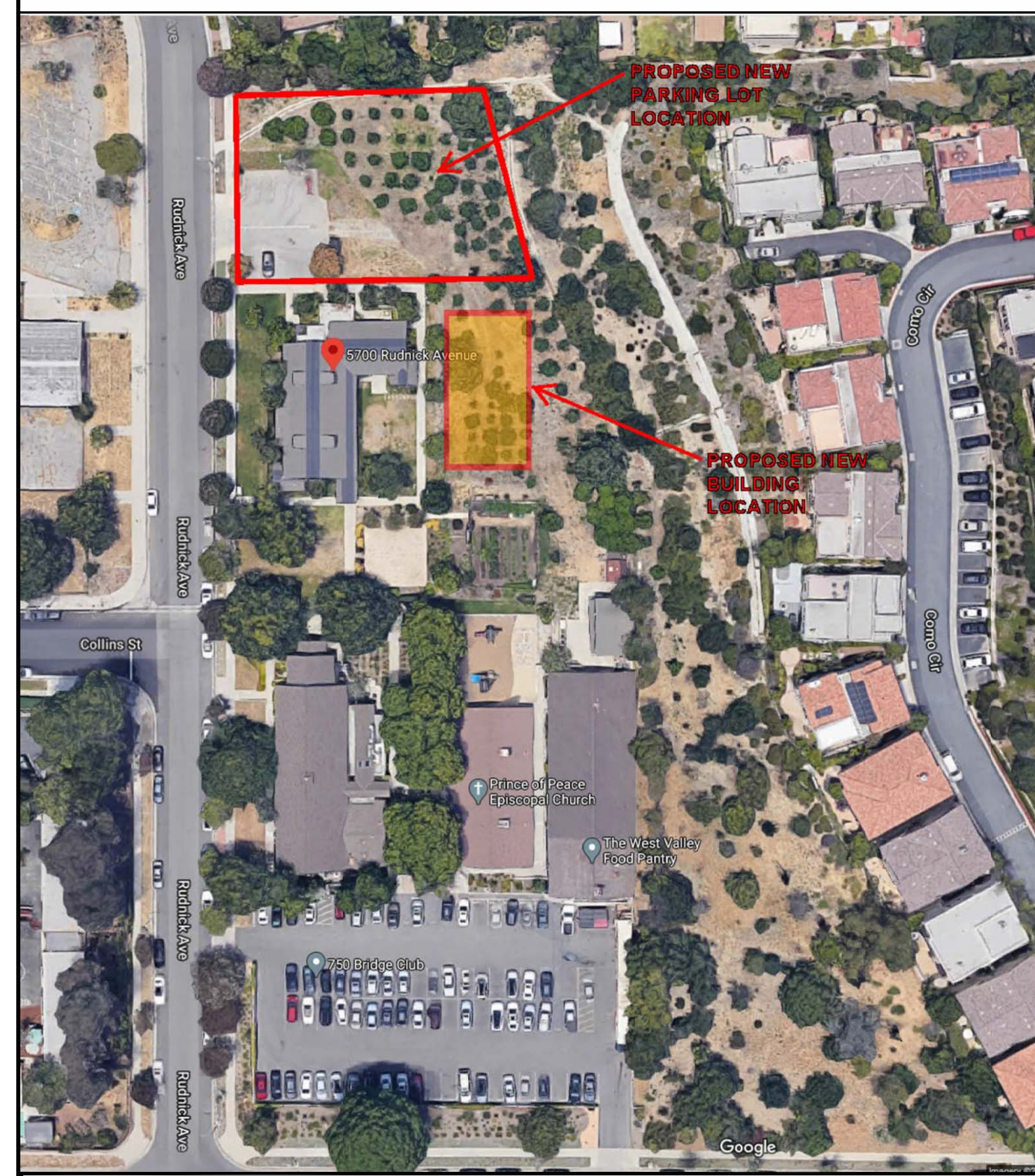
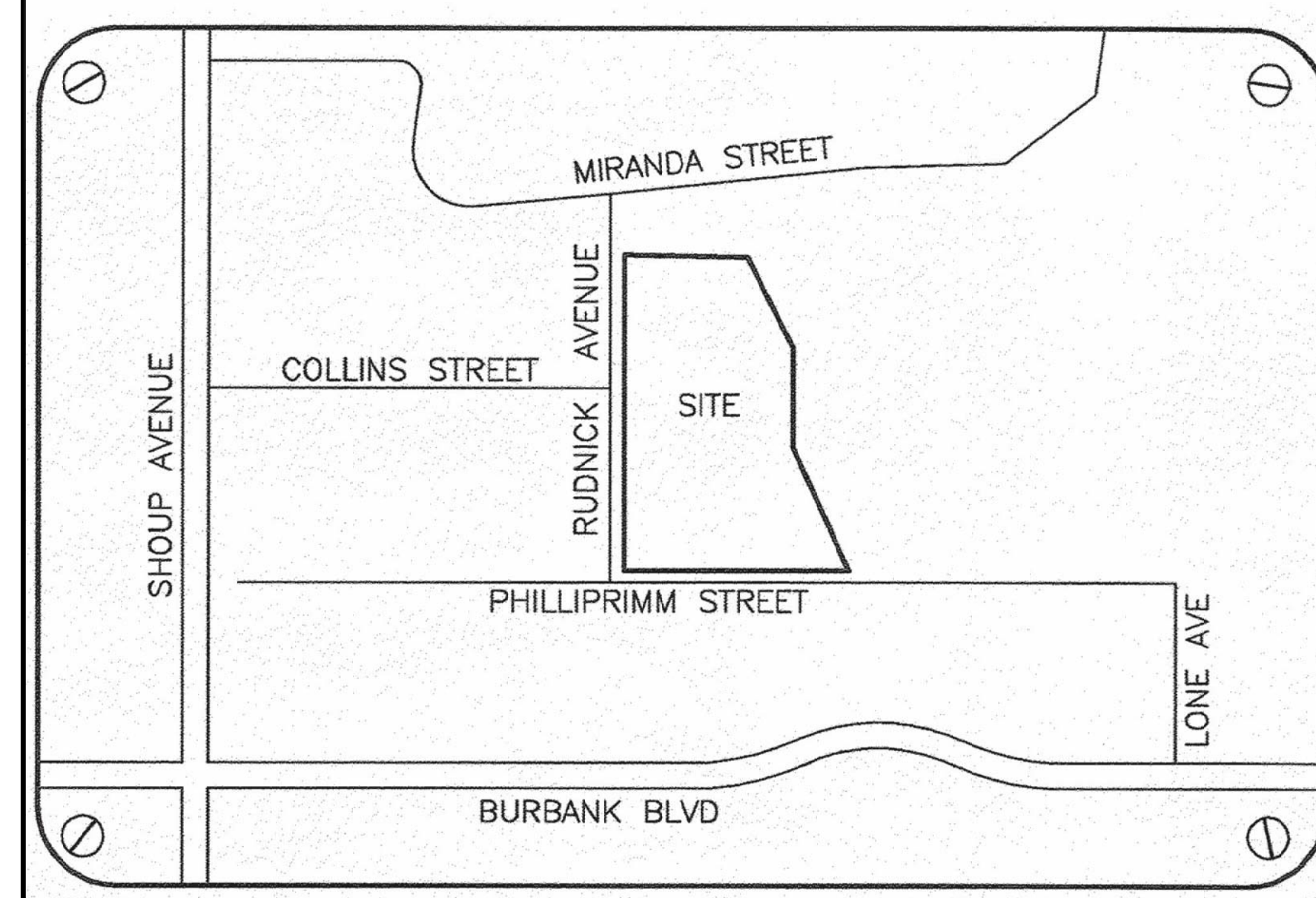
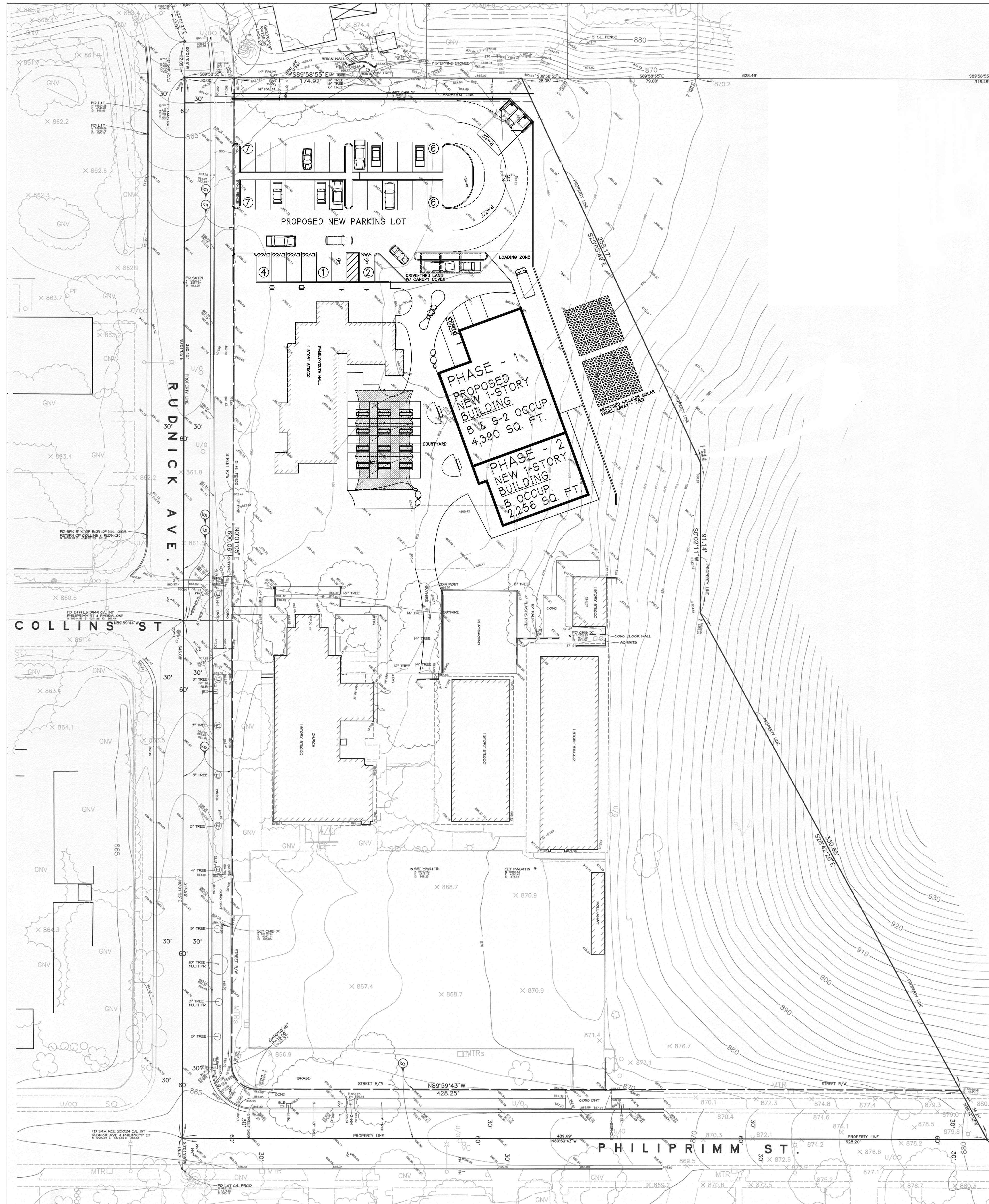
REQUIRED FOR INDUSTRIAL/INSTITUTIONAL:
SHORT TERM- 2 SPACES FOR EVERY 8,000 SQ. FT. / LONG TERM- 2 SPACES FOR EVERY 8,000 SQ. FT.
PROPOSED "S-2" OCCUPANCY/STORAGE USE 3,129 S.F. 2 SHORT TERM SPACES / 2 LONG TERM SPACES
TOTAL REQUIRED FOR NEW BLD'G: 8 SPACES
TOTAL PROVIDED BICYCLE PARKING: 8 SPACES

ASSESSORS PARCEL NUMBER (APN): 2146010015

LEGAL DESCRIPTION

THAT PORTION OF LOT 1026 OF TRACT NO. 1000, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 19, PAGES 1 TO 34 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 1026 DISTANT NORTHERLY THEREON 345.00 FEET FROM THE SOUTHEASTERLY CORNER OF SAID LOT, THENCE WESTERLY PARALLEL WITH THE SOUTHERLY LINE OF SAID LOT 1026, A DISTANCE OF 138.50 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING WESTERLY ALONG SAID PARALLEL LINE, A DISTANCE OF 489.50 FEET TO THE SOUTHEASTERLY CORNER OF THE LAND DESCRIBED IN THE DEED TO BARRICK L. GRIFFITH AND WIFE, RECORDED ON NOVEMBER 22, 1946 AS INSTRUMENT NO. 1811 IN BOOK 23979 PAGE 140, OFFICIAL RECORDS OF SAID COUNTY; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID LAND OF GRIFFITH AND THE EASTERLY LINE AND ITS NORTHERLY PROLONGATION OF THE LAND DESCRIBED IN THE DEED TO LUCIEN ANDRIOT, RECORDED ON APRIL 29, 1946 IN BOOK 23019 PAGE 418, OFFICIAL RECORDS OF SAID COUNTY; A DISTANCE OF 645.00 FEET TO THE NORTHERLY LINE OF THE SOUTH 990.00 FEET OF SAID LOT 1026; THENCE EAST PARALLEL WITH THE SOUTH LINE OF SAID LOT, A DISTANCE OF 204.46 FEET TO THE NORTHWEST CORNER OF THE LAND DESCRIBED IN THE DEED TO C. E. BURGE, RECORDED ON JULY 17, 1953 AS INSTRUMENT NO. 1326 IN BOOK 42238 PAGE 88, OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG THE WESTERLY LINES OF SAID LAND OF BURGE, SOUTH 25 06'00" EAST 258.23 FEET, THENCE SOUTHERLY PARALLEL WITH THE EAST LINE OF SAID LOT 1026, A DISTANCE OF 911.6 FEET; THENCE SOUTH 28 44' 31" EAST 364.97 FEET TO THE POINT OF BEGINNING.



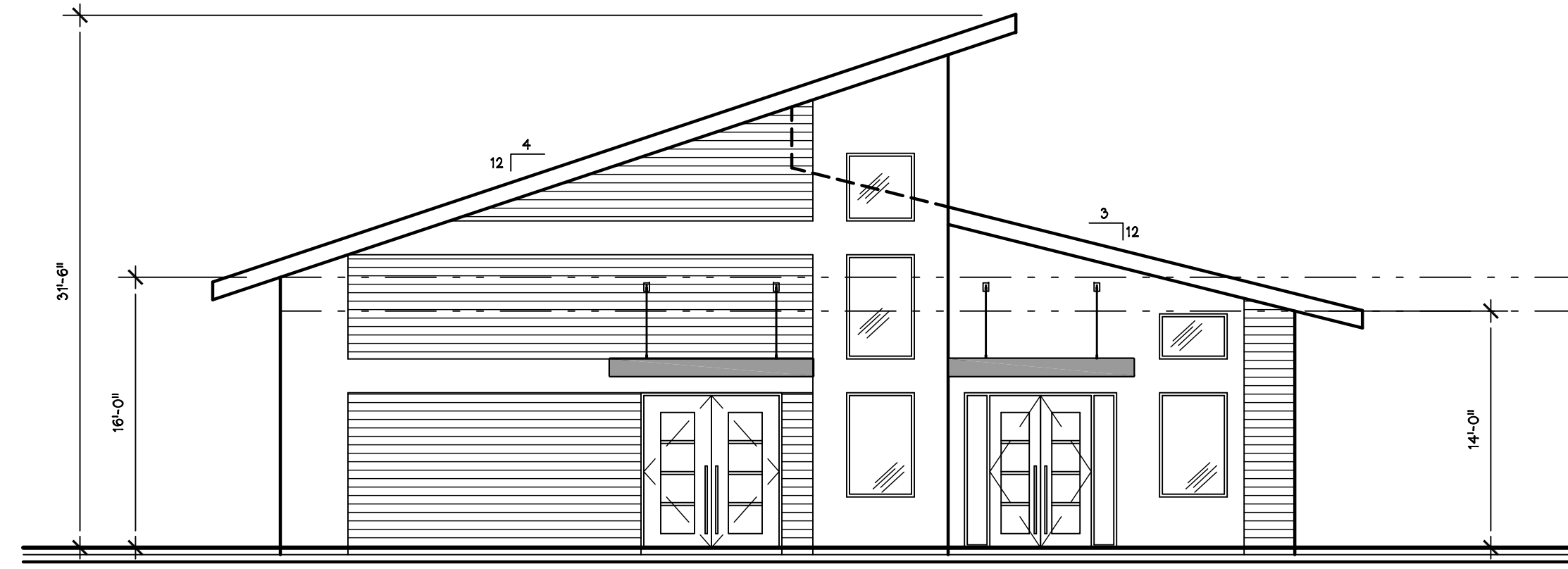
SITE PLAN SCALE: 1" = 30'-0" GRAPHIC SCALE: 1" = 30'

AERIAL VIEW - SITE PLAN

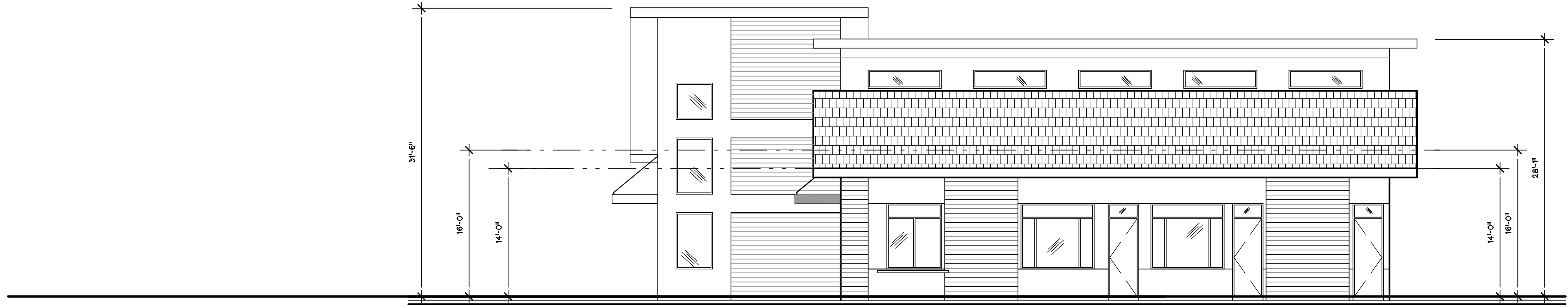




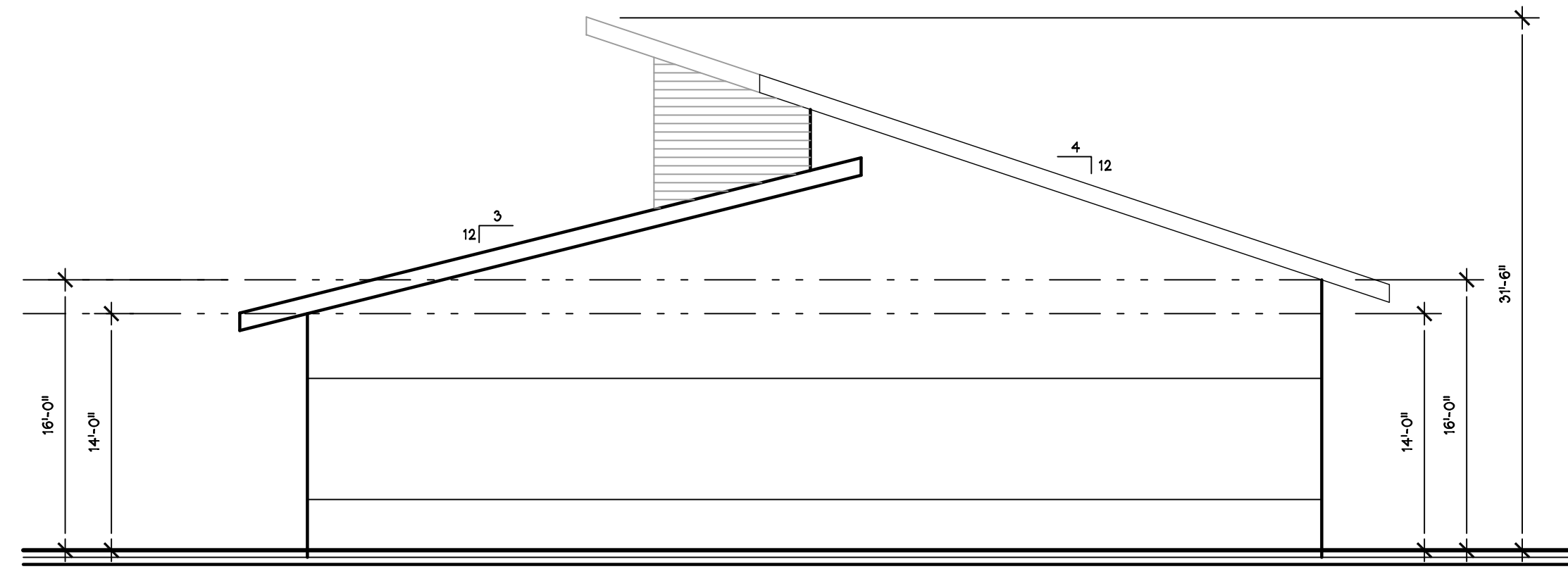




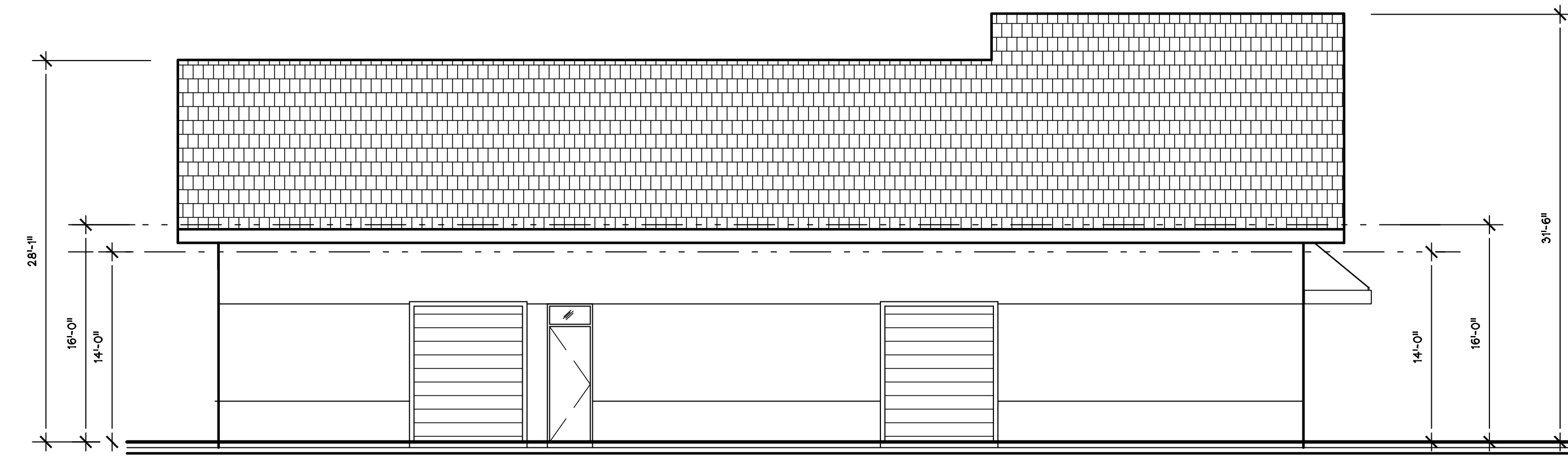
**NORTH ELEVATION - PHASE 1**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION - PHASE 1**  
SCALE: 1/8" = 1'-0"

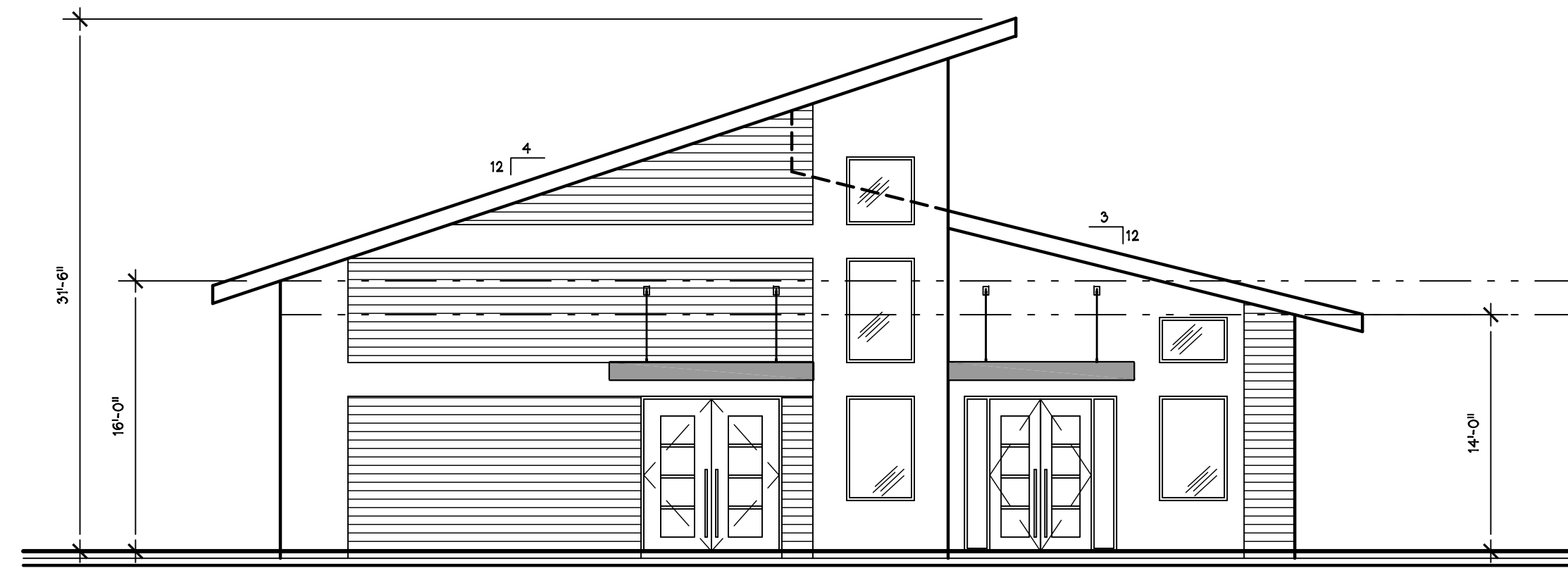


**SOUTH ELEVATION - PHASE 1**  
SCALE: 1/8" = 1'-0"

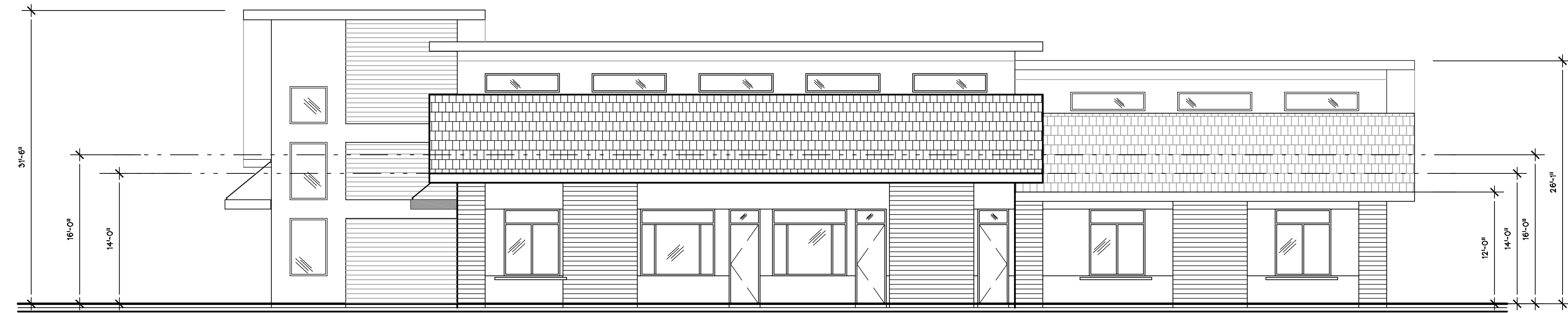


**EAST ELEVATION - PHASE 1**  
SCALE: 1/8" = 1'-0"

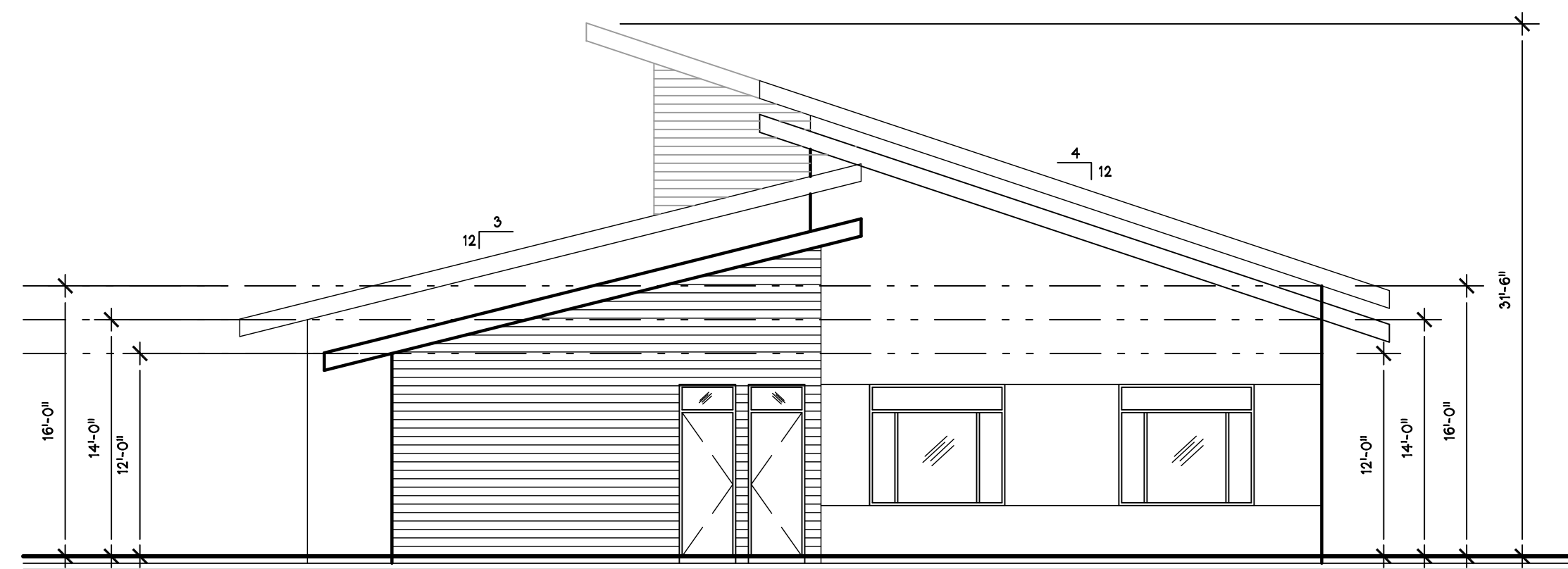
**PHASE 1**  
0 4 8 16 FT.



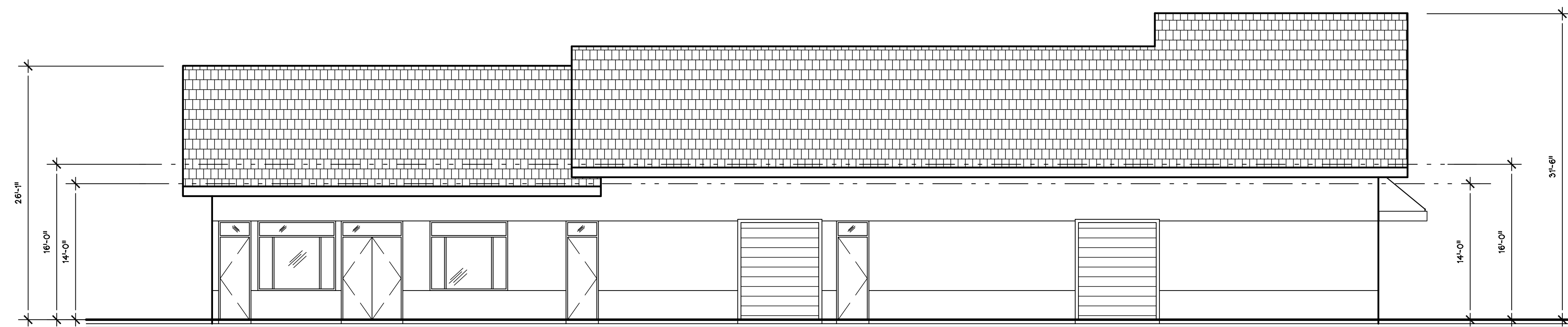
**NORTH ELEVATION - PHASE 2**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION - PHASE 2**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION - PHASE 2**  
SCALE: 1/8" = 1'-0"

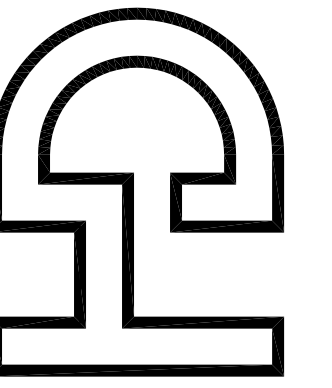


**EAST ELEVATION - PHASE 2**  
SCALE: 1/8" = 1'-0"

**PHASE 2**  
0 4 8 16 FT.

DATE	REVISIONS

**HENEY DONG & ASSOCIATES**  
ARCHITECTS, AIA.  
22800 VENTURA BLVD., SUITE 120, WOODLAND HILLS, CA 91364 818-224-2829  
ARCHITECTURE • PLANNING • INTERIORS

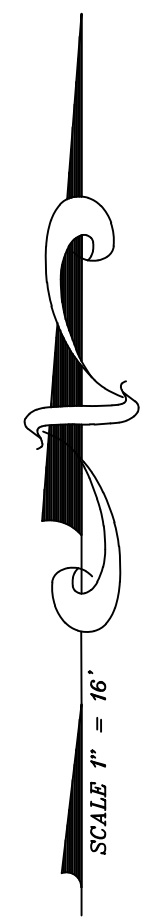


WEST VALLEY FOOD PANTRY  
COMMUNITY CENTER  
5700 RUDNICK AVE.  
WOODLAND HILLS, CA. 91367



J.F.  
H.D.  
1/8"=1'-0"  
12-22-21  
20-430





**LEGAL DESCRIPTION:**

THAT PORTION OF LOT 1026 OF TRACT NO. 1000, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 19, PAGES 1 TO 34 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 1026 DISTANT NORTHERLY THEREON 345.00 FEET FROM THE SOUTHEASTERLY CORNER OF SAID LOT; THENCE WESTERLY PARALLEL WITH THE SOUTHERLY LINE OF SAID LOT 1026, A DISTANCE OF 138.50 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING WESTERLY ALONG SAID PARALLEL LINE, A DISTANCE OF 489.50 FEET TO THE SOUTHEASTERLY CORNER OF THE LAND DESCRIBED IN THE DEED TO BARRICK L. GRIFFITH AND WIFE, RECORDED ON NOVEMBER 22, 1946 AS INSTRUMENT NO. 1511 IN BOOK 23979 PAGE 140, OFFICIAL RECORDS OF SAID COUNTY; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID LAND OF GRIFFITH AND THE EASTERLY LINE AND ITS NORTHERLY PROLONGATION OF THE LAND DESCRIBED IN THE DEED TO LUCIEN ANDROTT, RECORDED ON APRIL 29, 1946 IN BOOK 23019 PAGE 418, OFFICIAL RECORDS OF SAID COUNTY; A DISTANCE OF 445.00 FEET TO THE NORTHERLY LINE OF THE SOUTH 980.00 FEET OF SAID LOT 1026; THENCE EAST PARALLEL WITH THE SOUTH LINE OF SAID LOT, A DISTANCE OF 204.46 FEET TO THE NORTHWEST CORNER OF THE LAND DESCRIBED IN THE DEED TO C. E. BURGE, RECORDED ON JULY 17, 1963 AS INSTRUMENT NO. 1326 IN BOOK 42238 PAGE 88, OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG THE WESTERLY LINES OF SAID LAND OF BURGE, SOUTH 25° 06' 00" EAST 258.23 FEET; THENCE SOUTHERLY PARALLEL WITH THE EAST LINE OF SAID LOT 1026, A DISTANCE OF 91.16 FEET; THENCE SOUTH 28° 44' 31" EAST 364.97 FEET TO THE POINT OF BEGINNING.

**BASIS OF BEARINGS:**

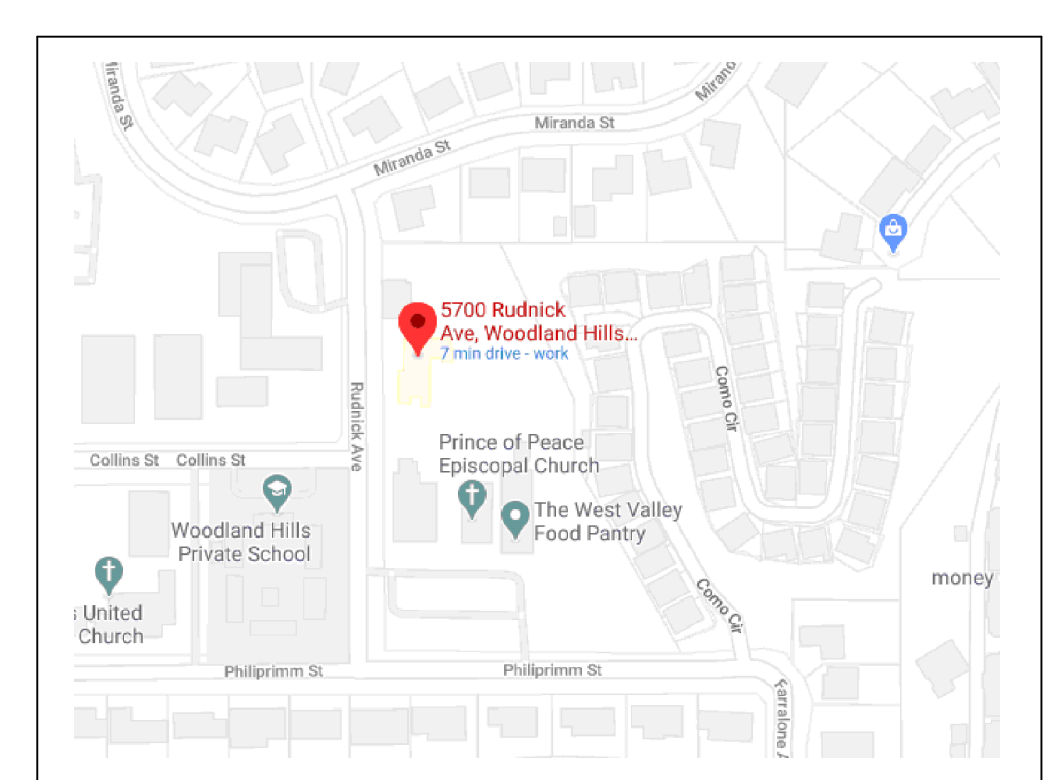
THE BEARING N89°50'43"W ON THE CENTERLINE OF PHILIPPRIM STREET AS SHOWN ON TRACT NO. 29130, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 889, PAGES 37/38, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**SURVEYOR'S NOTE:**

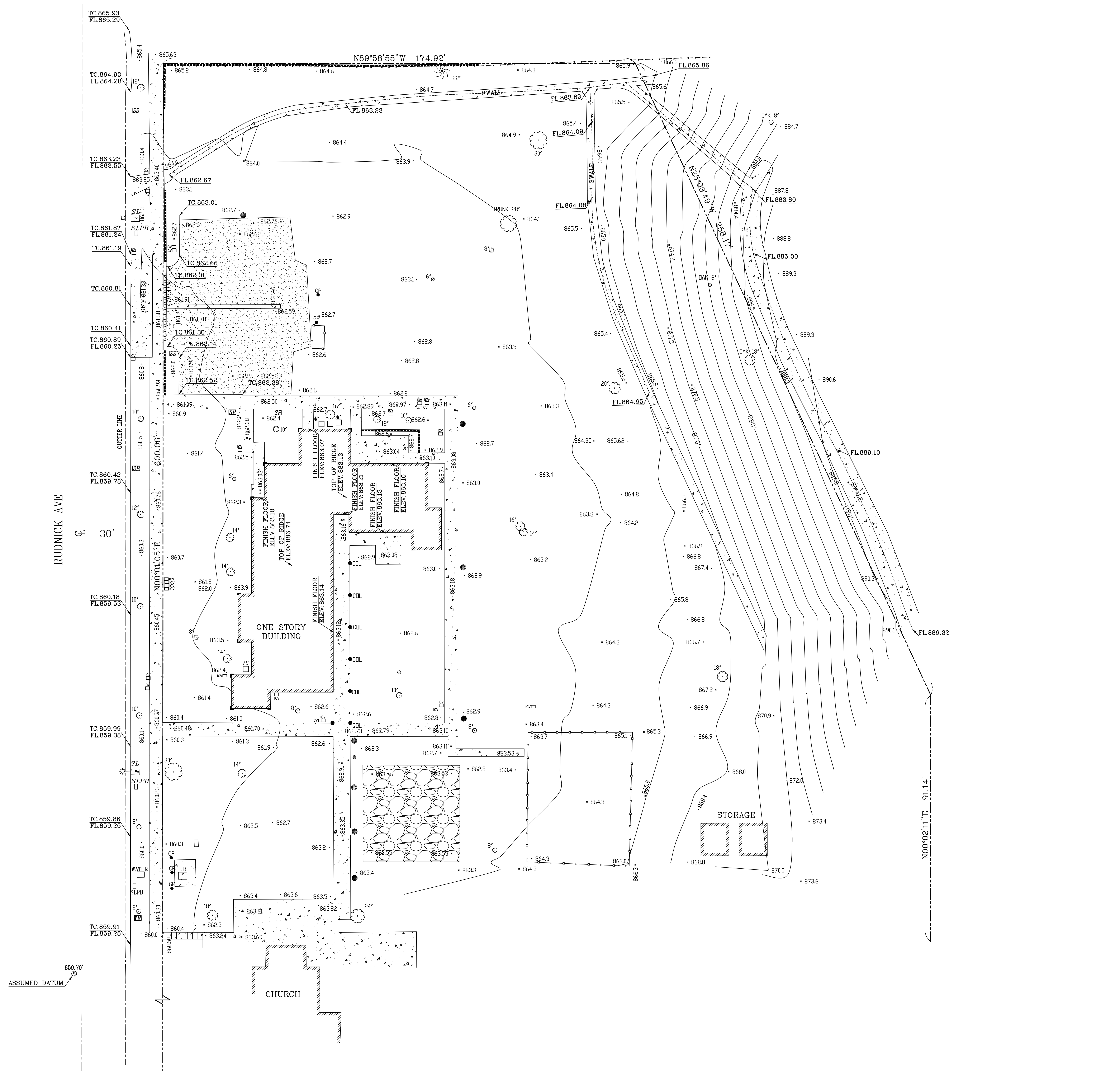
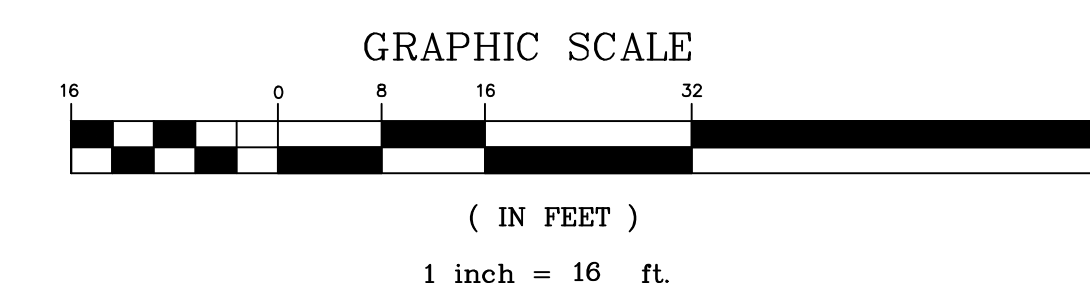
THIS MAP SHOULD BE USED FOR REFERENCE PURPOSES ONLY. EASEMENTS ARE NOT PLOTTED.

- SYMBOLS:**
- |                         |                                     |                                 |
|-------------------------|-------------------------------------|---------------------------------|
| 2x3 4" HIGH CONTROL BOX | IRRIGATION VALVE                    | STREET LIGHT BOX                |
| AIR CONDITIONING UNIT   | LIGHT STANDARD/ PED. CROSSING LIGHT | TEL. (PUBLIC PHONE)             |
| CABLE TV BOX            | MAIL BOX                            | TEL. BOX                        |
| CATCH BASIN             | MONITORING WELL                     | TELEPHONE MANHOLE               |
| COLUMN                  | PALM TREE                           | TRAFFIC LIGHT                   |
| DRAIN                   | PINE TREE                           | TRAFFIC LIGHT CONTROL BOX       |
| ELECTRIC MANHOLE        | POWER POLE                          | TRAFFIC LIGHT WITH ARM          |
| FIRE CONTROL VALVE      | POWER POLE ANCHOR                   | TRAFFIC LIGHT WITH STREET LIGHT |
| FIRE DEPT. CONN. (FDC)  | PULL BOX                            | TREE                            |
| FIRE HYDRANT            | SEWER CL OUT                        | VENT                            |
| GAS METER               | SEWER MANHOLE                       | WATER MANHOLE                   |
| GAS VALVE               | STREET SIGN                         | WATER METER                     |
| GATE POST               | STORM DRAIN MANHOLE                 | WATER VALVE                     |
| GTE PULL BOX            | STREET LIGHT                        | WATER VAULT                     |
| GUARD POST              |                                     |                                 |

- LEGEND:**
- |                                   |                                   |
|-----------------------------------|-----------------------------------|
| AC - ASPHALT CONCRETE             | (P) - PRORATED                    |
| B.C. - BUILDING CORNER            | P.C. - PROPERTY CORNER            |
| BW - BACK OF WALK                 | PG - PAGE                         |
| (C) - CALCULATED DATA             | PI - POINT OF INTERSECTION        |
| CB - CATCH BASIN                  | R / PL - PROPERTY LINE            |
| CEFB - CITY ENGINEER'S FIELD BOOK | PLTR - PLANTER                    |
| CF - CURB FACE                    | P.O.L. - POINT ON LINE            |
| (CF) - CALCULATED FROM RECORDS    | P.M.T. - PAVEMENT                 |
| CL - CENTERLINE                   | PM - PARCEL MAP RECORD            |
| COL - COLUMN                      | ROE - REGISTERED CIVIL ENGINEER   |
| CONC - CONCRETE                   | S.S.M. - STANDARD SURVEY MONUMENT |
| CP - CEMENT                       | S.S.M. - SANITARY SEWER MANHOLE   |
| DEED - DEED                       | S & T - SPIKE & TIE               |
| E.B. - ELECTRIC BOX               | SPK/W - SPIKE & WASHER            |
| EP - EDGE OF PAVEMENT             | TC - TOP OF CURB ELEV.            |
| EMT. - EASEMENT                   | TR - TRACT MAP                    |
| EST - ESTABLISH                   | TW - TOP OF WALL ELEV.            |
| FB - FIELD BOOK                   | W. - WROUGHT IRON                 |
| FD - FOUND                        |                                   |
| FF - FINISH FLOOR ELEV.           |                                   |
| FL - FINISH SURFACE               |                                   |
| FINV - FINISH VALVE               |                                   |
| INT - INTERSECTION                |                                   |
| IP - IRON PIPE                    |                                   |
| LS - LAND SURVEYOR                |                                   |
| L & T - LEAD & TACK               |                                   |
| (M) - MEASURED                    |                                   |
| MB - MAP BOOK                     |                                   |
| NG - NATURAL GRADE                |                                   |
| OH - OVERHANG                     |                                   |



VICINITY MAP  
NOT TO SCALE



ASSUMED DATUM

DATE	REVISIONS

PREPARED BY:  
**WESTCON ENGINEERING, INC.**  
 LAND PLANNING ENGINEERING LAND SURVEYING  
 6335 TOPANGA CANYON BLVD., SUITE 345  
 WOODLAND HILLS, CA 91367  
 818-226-0444 VOICE 818-226-0448 FAX  
 E-MAIL: info@westconeng.com

PREPARED FOR:  
**HENEY DONG & ASSOCIATES**  
 5700 RUDNICK AVE.,  
 WOODLAND HILLS, CA 91367

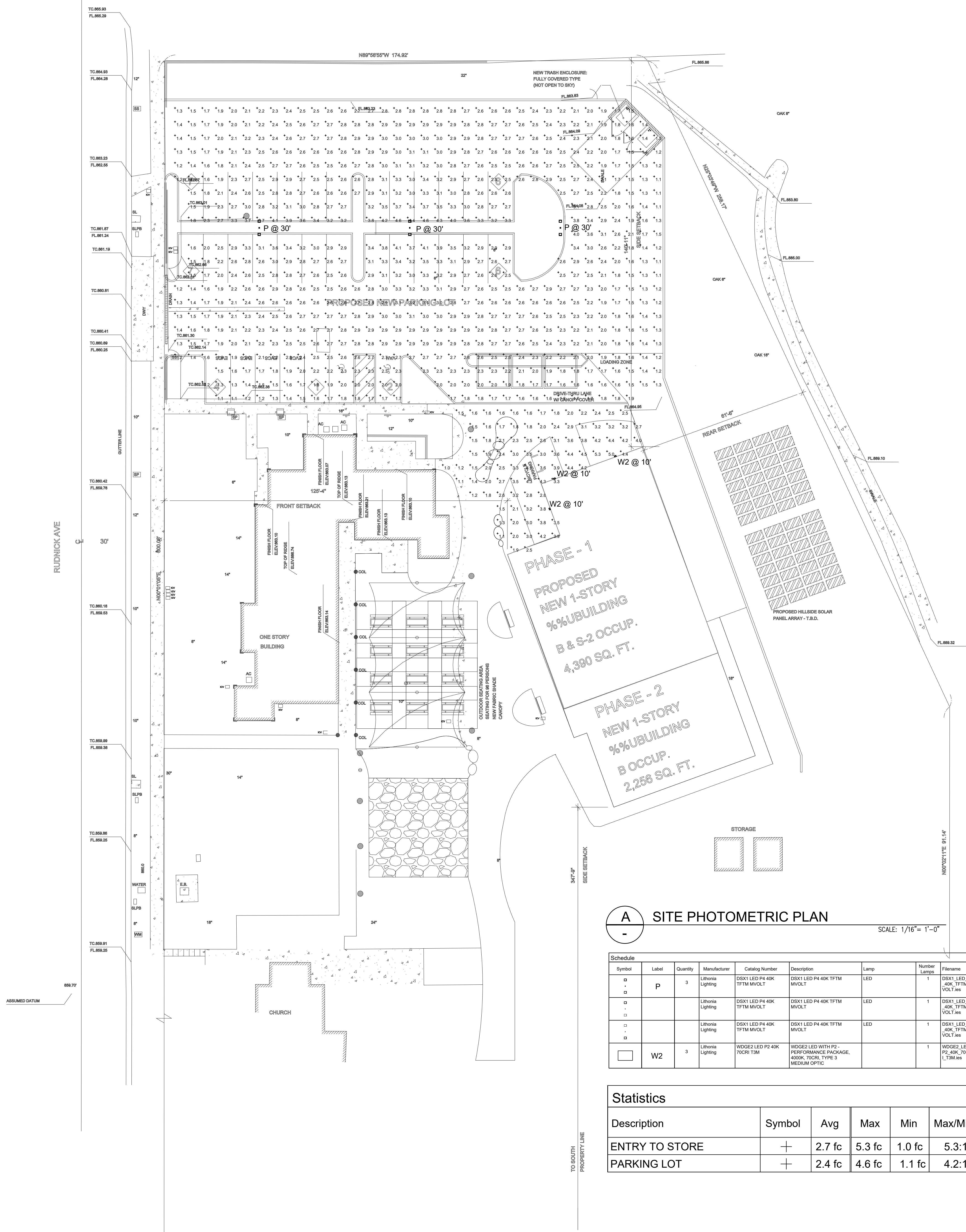
PROJECT  
**PARTIAL TOPO SURVEY**  
 5700 RUDNICK AVE.,  
 WOODLAND HILLS, CA 91367

W.O. 21-06  
 SCALE: 1"=16'  
 DATE: 04-07-2021  
 SHEET 1 OF 1

SURVEYED BY: A.B.  
 DRAWN BY: A.B.  
 CHECKED BY: C.A.



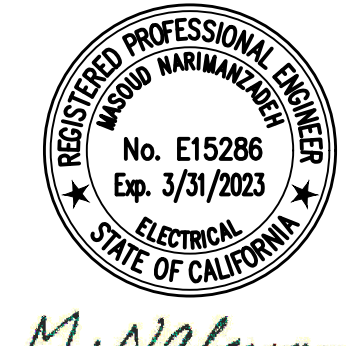




**A SITE PHOTOMETRIC PLAN**  
SCALE: 1/16" = 1'-0"

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
○	P	3	Librona Lighting	DSX1 LED P4 40K TFTM MVOLT	DSX1 LED P4 40K TFTM MVOLT	LED	1	DSX1_LED_P4_40K_TFTM_MVOLT.lvs	14487	0.9	250
○			Librona Lighting	DSX1 LED P4 40K TFTM MVOLT	DSX1 LED P4 40K TFTM MVOLT	LED	1	DSX1_LED_P4_40K_TFTM_MVOLT.lvs	14487	0.9	125
○			Librona Lighting	DSX1 LED P4 40K TFTM MVOLT	DSX1 LED P4 40K TFTM MVOLT	LED	1	DSX1_LED_P4_40K_TFTM_MVOLT.lvs	14487	0.9	125
□	W2	3	Librona Lighting	WDS2 LED P2 40K 70CRI T3M	WDS2 LED WITH P2 PERFORMANCE PACKAGE. 4000K, 70CRI, TYPE 3 MEDIUM OPTIC.		1	WDS2_LED_P2_40K_70CRI_T3M.lvs	2327	0.9	16.9615

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ENTRY TO STORE	+	2.7 fc	5.3 fc	1.0 fc	5.3:1	2.7:1
PARKING LOT	+	2.4 fc	4.6 fc	1.1 fc	4.2:1	2.2:1



**TEK ENGINEERING GROUP**  
CONSULTING ELECTRICAL ENGINEERS  
6345 BALBOA BLVD, SUITE #208 DUNO, CALIFORNIA 91516  
TEL: (918)783-6945 FAX: (918)783-6996

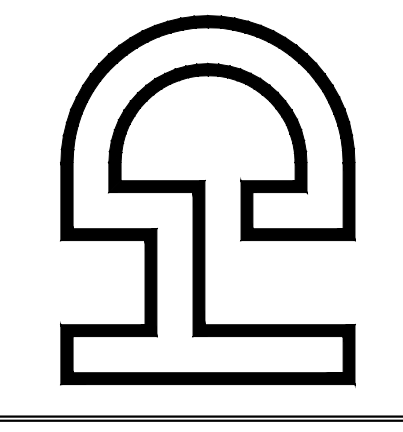
WEST VALLEY FOOD PANTRY  
COMMUNITY CENTER  
5700 RUDNICK AVE.  
WOODLAND HILLS, CA. 91367



SITE PHOTOMETRIC PLAN AND NOTES  
JOB TITLE: -  
DRAWN BY: -  
CHECKED BY: -  
SCALE: -  
DATE: 7-30-21  
JOB NO.: 21-  
SHEET NO.: E-1.1

DATE	REVISIONS
01/11/22	

**HENEY DONG & ASSOCIATES**  
ARCHITECTS, AIA.  
22900 VENTURA BLVD., SUITE 120, WOODLAND HILLS, CA 91364  
816-224-9259  
ARCHITECTURE • PLANNING • INTERIORS



# PRELIMINARY GRADING, DRAINAGE, AND LID PLAN

5700 RUDNICK AVENUE WOODLAND HILLS, CA. 91367

## GENERAL NOTES:

- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE PRIOR TO PLACING OF ANY FILL MATERIAL.
- NO FILL SHALL BE PLACED UNTIL SUB GRADE APPROVAL IS OBTAINED FROM THE CITY GRADING INSPECTOR, AND THE SOILS ENGINEER.
- ALL FILL SHALL BE PLACED UNDER THE DIRECT AND CONTINUOUS INSPECTION OF THE SOILS ENGINEER.
- ALL IMPORT FILL SHALL BE APPROVED BY THE SOILS ENGINEER PRIOR TO DELIVERY TO THE JOB.
- IF SEEPAGE PIT OR CESSPOOL IS ENCOUNTERED, DO NOT FILL UNTIL APPROVAL IS OBTAINED FROM THE CITY GRADING INSPECTOR AND THE SOILS ENGINEER.
- THE FILL SHALL BE PLACED AT MOISTURE CONTENTS AS RECOMMENDED IN THE SOILS REPORT.
- THE SELECTED FILL MATERIAL SHALL BE PLACED IN LEVEL, UNIFORM LAYERS NOT EXCEEDING 6 INCHES IN THICKNESS WHEN COMPACTED. EACH LAYER SHALL BE THOROUGHLY MIXED DURING THE SPREADING TO INSURE UNIFORMITY OF MATERIAL AND MOISTURE IN EACH LAYER.
- ALL WORK SHALL COMPLY TO THE CITY OF LOS ANGELES GRADING REGULATIONS.
- THE STAMPED SET OF PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
- CUT SLOPES SHALL BE 2:1 MAXIMUM.
- FILL SLOPES SHALL BE 2:1 MAXIMUM.
- PERMEABLE PAVING AREA TO BE 2,737 SQUARE FEET.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR AND THE OWNER TO PROTECT ADJACENT PROPERTY AND PUBLIC WAYS DURING GRADING OPERATIONS.
- DUST SHALL BE CONTROLLED BY WATERING AT ALL TIMES DURING GRADING.
- NO CONCRETE, TRASH, ROCKS, OR DEBRIS TO BE PLACED IN FILLS.
- FOR ADDITIONAL GRADING SPECIFICATIONS, SEE SOILS REPORT DATED XXXXX XX, 2021. REPORT NO. XXXXXXXX

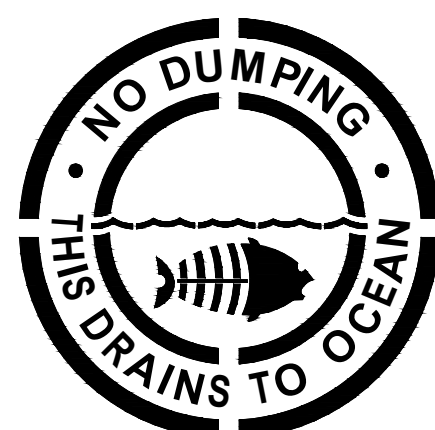
PREPARED BY: GORIAN AND ASSOCIATES, INC.  
3595 OLD CONEJO ROAD  
THOUSAND OAKS, CA 91320  
805.375.9262

- ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED, VIA GRAVITY, TO THE STREET OR AN APPROVED LOCATION AT A 2% MINIMUM.
- THE SOILS ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR. THE GRADING INSPECTOR IS TO BE NOTIFIED BEFORE ANY GRADING BEGINS AND, FOR BOTTOM INSPECTION, BEFORE FILL IS PLACED. FILL MAY NOT BE PLACED WITHOUT APPROVAL OF THE GRADING INSPECTOR.
- ALL FOOTINGS SHALL BE FOUND IN UNDISTURBED NATURAL SOIL OR PROPERLY COMPACTED FILL, AS RECOMMENDED IN THE SOILS REPORT.
- COMPLY WITH PROVISIONS OF SECTION 91.1804.4 FOR EXPANSIVE SOIL CONDITION.
- JOB ADDRESS: 5700 RUDNICK AVENUE WOODLAND HILLS, CA 91367
- "GENERAL SPECIFICATIONS FOR ALL GRADING PLANS" - DEPARTMENT OF BUILDING AND SAFETY FORM B-164 IS A PART OF THE PLANS.
- ALL GRADED SLOPES SHALL BE PLANTED AND SPRINKLERED. (7012.1)
- STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES. SEC. (7013.3)
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE AND 93% OF MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEER.
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES. [200CY] (7007.1).
- REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE (SITE EXCEEDS 60,000 S.F.)CUT OR FILL SLOPES EXCEED 2:1(CUTS EXCEED 40FT. IN HEIGHT AND WITHIN 20FT. OF A PROPERTY LINE)FOUNDATION EXCAVATION BELOW A 1:1 PLANE FROM PROPERTY LINE(PROJECTS INVOLVE UNUSUAL HAZARDS)(SHORING WORK INCLUDING SLOT-CUTS)". (1704).

## SOILS ENGINEER/ GEOLOGIST STATEMENT:

THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF SOILS ENGINEERING/GEOLOGIC REPORTS DATED XXX XX, 2021 PROJECT NO. XXXXXXXX PREPARED BY GORIAN AND ASSOCIATES, INC.

SIGNATURE AND DATE \_\_\_\_\_



### IMPORTANT NOTICE

Section 4216/4217 of the Government Code requires a DigAlert Identification Number be issued before a "Permit to Excavate" will be valid. For your DigAlert I.D. Number Call Underground Service Alert

TOLL FREE 1-800-422-4133

Two working days before you dig

## DEPARTMENT OF PUBLIC WORKS NOTICE TO CONTRACTOR:

- ALL WORK DETAILED ON THESE PLANS UNDER THE JURISDICTION OF THE BOARD OF PUBLIC WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION AND SUPPLEMENTS OF "THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (GREENBOOK), THE CORRESPONDING "ADDITIONS AND AMENDMENTS TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (BROWN BOOK) AND IN THE PRESENCE OF AN INSPECTOR APPOINTED BY THE BOARD OF PUBLIC WORKS.
- APPROVED HEREON IS THE WORK IN DEDICATED OR PROPOSED PUBLIC STREETS, EASEMENTS, AND WATERCOURSES UNDER JURISDICTION OF THE BOARD OF PUBLIC WORKS AND SLOPES ADJACENT TO SUCH STREETS SUBJECT TO THE PROVISIONS OF PERMIT BR \_\_\_\_\_, NO EROSION CONTROL OR DRAINAGE DEVICES SHALL BE INSTALLED IN THE AREA COVERED BY PERMIT BR \_\_\_\_\_ EXCEPT AS SHOWN HEREON OR AS APPROVED BY THE BOARD OF PUBLIC WORKS. THIS GRADING PLAN WHEN APPROVED BY THE DISTRICT ENGINEER, AS WELL AS PERMITS
- THIS GRADING PLAN WHEN APPROVED BY THE DISTRICT ENGINEER, AS WELL AS PERMITS FOR WORK WITHIN STATE OR COUNTY RIGHTS-OF-WAY, SHALL BE ON THE SITE OF WORK AT ALL TIMES.
- IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
- DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, GEOTECHNICAL ENGINEERING GROUP, 1149 S. BROADWAY STREET SUITE 120, LOS ANGELES, CA 90031, (213)847-0538, SHALL BE NOTIFIED PRIOR TO COMMENCING GRADING OPERATIONS. ALL FILLS SHALL BE COMPACTED TO 90% RELATIVE COMPACTION UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEERING GROUP, AND SPECIFIED BY THE ENGINEER OR UNLESS OTHERWISE SHOWN ON THESE PLANS.
- DRAINAGE FROM ALL LOTS SHALL BE CARRIED TO THE IMPROVED STREET GUTTER BY MEANS OF AN APPROVED DRIVEWAY OR DRAINAGE STRUCTURE.
- ALL SLOPES IN PRIVATE PROPERTY ADJOINING STREETS, DRAINAGE CHANNELS, OR OTHER PUBLIC FACILITIES SHALL BE GRADED NOT STEEPER THAN 2 TO 1 FOR CUT AND FILL.
- IF ANY GRADING OPERATIONS COVERED BY SAID PERMIT BR \_\_\_\_\_ SHALL EXTEND INTO OR THROUGH OR SHALL BE COMMENCED DURING THE PERIOD OF OCTOBER 1 TO APRIL 15, THE PERMITTEE WILL BE REQUIRED TO SUBMIT PLANS OF THE TEMPORARY EROSION CONTROL METHODS AND DEVICES HE PROPOSES TO USE IN CONNECTION WITH THE GRADING OPERATIONS TO BE PERFORMED DURING THAT PERIOD. SAID PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER ON OR BEFORE SEPTEMBER 15, OR AT LEAST 30 DAYS BEFORE COMMENCING GRADING OPERATIONS, AND SHALL BE APPROVED BY THE DISTRICT OR DIVISION ENGINEER BEFORE ANY GRADING IS PERFORMED DURING SAID PERIOD.

APPROVED FOR APPROXIMATE STREET GRADE. NOT APPROVED FOR WORK IN DEDICATED OR PROPOSED PUBLIC STREETS. FINAL STREET GRADES AND ALIGNMENT MUST MEET CURRENT ESTABLISHED STANDARDS.

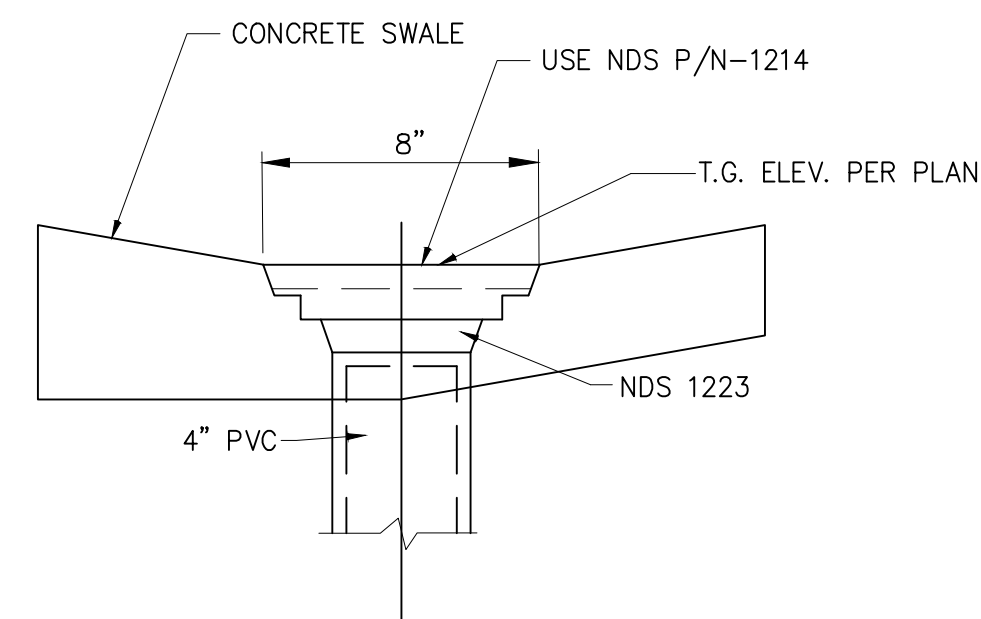
PERMIT BR \_\_\_\_\_

DISTRICT ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED FOR ROUGH GRADING AND APPROXIMATE STREET GRADES IN DEDICATED OR PROPOSED PUBLIC STREETS, EASEMENTS, WATERCOURSES AND SLOPES ADJACENT TO SUCH EASEMENTS, UNDER THE JURISDICTION OF THE BOARD OF PUBLIC WORKS, SUBJECT TO THE PROVISIONS OF PERMIT BR \_\_\_\_\_ AND THE LATEST EDITION AND SUPPLEMENTS OF "THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (GREENBOOK) AND THE CORRESPONDING "ADDITIONS AND AMENDMENTS TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (BROWN BOOK).

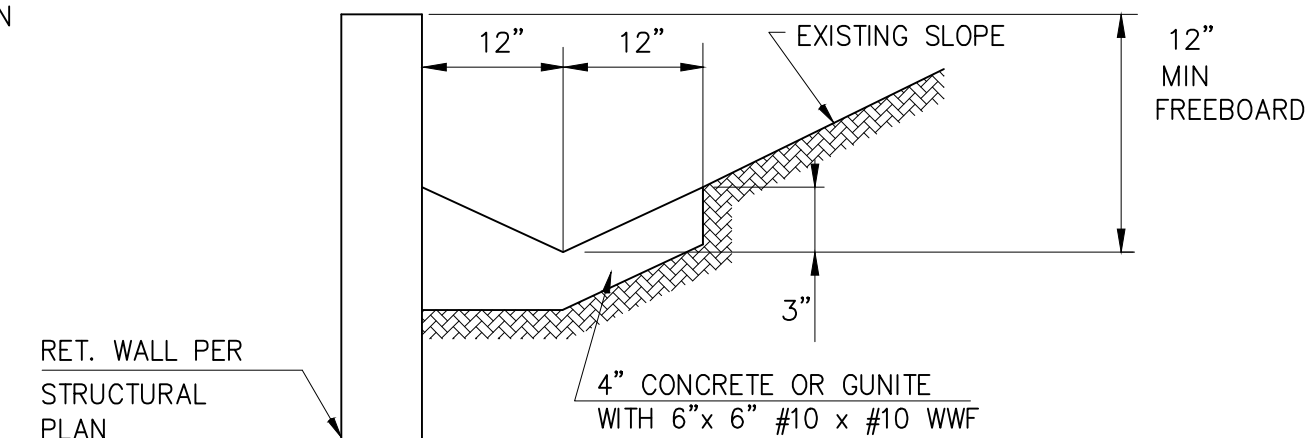
FINAL STREET GRADES AND ALIGNMENT MUST MEET CURRENT ESTABLISHED CITY STANDARDS. ONLY THE EROSION CONTROL OR DRAINAGE DEVICES SHOWN HEREON OR AUTHORIZED BY THE BUREAU OF ENGINEERING SHALL BE INSTALLED IN THE AREA COVERED BY PERMIT BR \_\_\_\_\_

DISTRICT ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



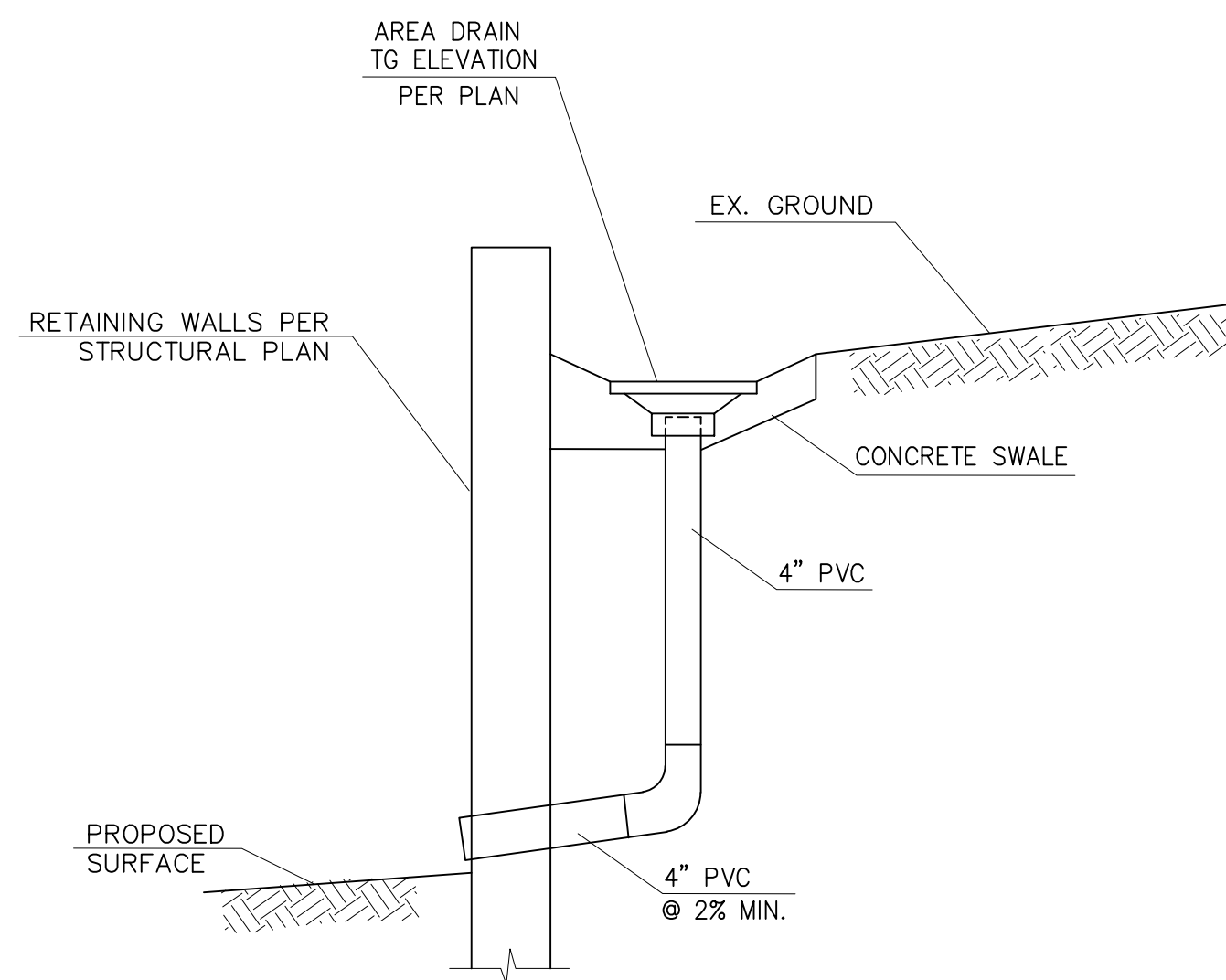
AREA DRAIN

N.T.S.



CONCRETE SWALE DETAIL

N.T.S.

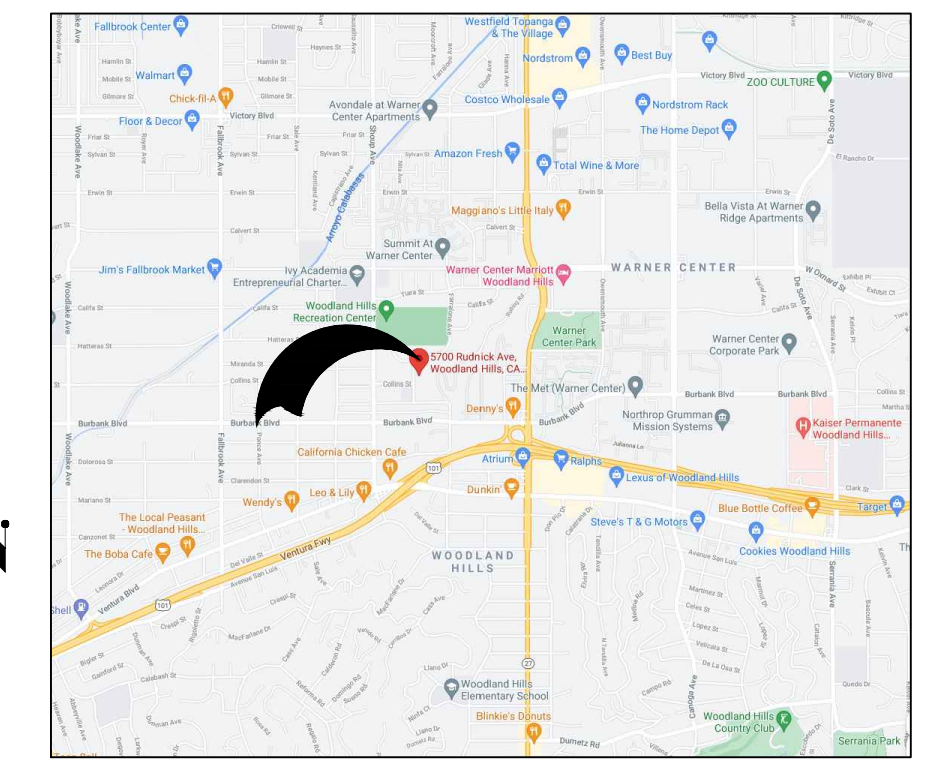


INLET BEHIND RETAINING WALL

N.T.S.

## LEGEND

MIN.	MINIMUM	---	CENTER LINE
TC	TOP OF CURB	----	PROPERTY LINE
TG	TOP OF GRATE	----	PROPOSED CONTOUR
INV	INVERT	----	PROPOSED ELEVATION
BW	BACK OF WALK	----	EXISTING ELEVATION
FG	FINISH GRADE	178.20 FS	SLOPE DIRECTION/ RATE
EX.	EXISTING	1200.0 AC	WALL FENCE
FS	FINISH SURFACE	2.0%	
CL	CENTER LINE	----	
FL	FLOW LINE	----	
GB	GRADE BREAK	----	
EG	EDGE OF GUTTER	----	
HP	HIGH POINT	----	
FF	FINISH FLOOR	----	



VICINITY MAP

N.T.S.

## SHEET INDEX:

- SHEET 1 - TITLE SHEET
- SHEET 2 - GRADING, DRAINAGE, AND LID PLAN
- SHEET 3 - GRADING, DRAINAGE, AND LID PLAN

## DEVELOPER/APPLICANT:

WEST VALLEY FOOD PANTRY COMMUNITY CENTER  
5700 RUDNICK AVENUE  
WOODLAND HILLS, CA. 91367

## CIVIL ENGINEER:

WESTCON ENGINEERING, INC.  
6355 TOPANGA CANYON BOULEVARD, SUITE 345  
WOODLAND HILLS, CA. 91367  
818.226.0444

## SOILS ENGINEER:

GORIAN AND ASSOCIATES, INC.  
3595 OLD CONEJO ROAD  
THOUSAND OAKS, CA. 91320  
805.375.9262

## SURVEYOR:

WESTCON ENGINEERING, INC.  
6355 TOPANGA CANYON BOULEVARD, SUITE 345  
WOODLAND HILLS, CA. 91367  
818.226.0444

## BENCHMARK:

FD SMH @ INTERSECTION OF RUDNICK AVE & COLLINS ST

STRUCTURE ID: 43212048

ELEVATION= 859.70'

## EARTHWORK QUANTITIES

	CUT C.Y.	FILL C.Y.
SITE PREPARATION	708	0
REMOVAL AND RECOMPACTION	0	0
TOTAL	708	0
EXPORT	708	0

\* GRADING CONTRACTOR TO BE RESPONSIBLE FOR DETERMINING HIS/HER OWN EARTHWORK QUANTITIES.

NOT FOR CONSTRUCTION

NOTE: PROVIDE STENCILING WITH EITHER LOGO SHOWN ABOVE ON ALL STORM DRAIN INLETS.

## STENCILING DETAIL

N.T.S.

DATE	REVISIONS



PLAN PREPARED UNDER THE DIRECTION OF:

Richard F. Prutz  
RICHARD F. PRUTZ R.C.E. 19335

PREPARED BY:



WESTCON ENGINEERING, INC.  
LAND PLANNING ENGINEERING LAND SURVEYING  
6355 TOPANGA CANYON BLVD., SUITE 345  
WOODLAND HILLS, CA. 91367  
818-226-0444 VOICE 818-226-0448 FAX  
E-MAIL: info@westconeng.com

PREPARED FOR:

WEST VALLEY FOOD PANTRY COMMUNITY CENTER  
5700 RUDNICK AVENUE,  
WOODLAND HILLS, CA. 91367

PROJECT:

PRELIMINARY GRADING, DRAINAGE, AND LID PLAN  
5700 RUDNICK AVENUE,  
WOODLAND HILLS, CA. 91367

W.O.:

SCALE: 1"= 20'

DATE: 01-10-22

SHEET: 1 OF 3

**CONSTRUCTION NOTES**

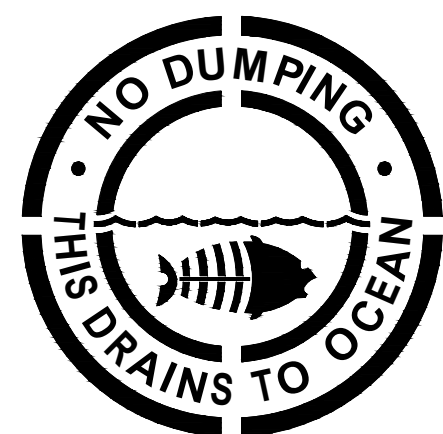
- ① — REMOVE EXISTING ASPHALT PAVEMENT AND BASE.
- ② — REMOVE EXISTING WALL.
- ③ — REMOVE EXISTING DRIVEWAY.
- ④ — REMOVE EXISTING PARKWAY DRAIN.
- ⑤ — REMOVE EXISTING PORTION OF CONCRETE SWALE.
- ⑥ — REMOVE EXISTING DRAIN.
- ⑦ — REMOVE EXISTING CONCRETE CURB.
- ⑧ — PROTECT EXISTING WALL/FENCE.
- ⑨ — PROTECT EXISTING CONCRETE WALKWAY.
- ⑩ — REMOVE EXISTING TREE.
- ⑪ — OUTDOOR SEATING AREA PER ARCHITECTURAL PLANS.
- ⑫ — HARDSCAPE/LANDSCAPE AREA PER ARCHITECTURAL PLANS.
- ⑬ — OUTDOOR SEATING AREA PER ARCHITECTURAL PLANS.
- ⑭ — DRIVE-THRU CANOPY PER ARCHITECTURAL PLANS.
- ⑮ — HILLSIDE SOLAR PANEL ARRAYS PER ARCHITECTURAL PLANS.
- ⑯ — PARKING AREA STRIPING PER ARCHITECTURAL PLANS.
- ⑰ — RETAINING WALL PER STRUCTURAL PLANS.
- ⑱ — CONSTRUCT UNDER DRIVEWAY AND SIDEWALK RECTANGULAR DRAIN PIPE SIZE #2 (8.00"x3.50") PER FOUNDRY SERVICES AND SUPPLY, INC.; @2% SLOPE.
- ⑲ — CONSTRUCT UNDER DRIVEWAY AND SIDEWALK RECTANGULAR DRAIN PIPE SIZE #3 (15.13"x3.50") PER FOUNDRY SERVICES AND SUPPLY, INC.; @2% SLOPE.
- ⑳ — CONSTRUCT UNDER DRIVEWAY AND SIDEWALK RECTANGULAR DRAIN PIPE SIZE #5 (32.00"x3.50") PER FOUNDRY SERVICES AND SUPPLY, INC.; @2% SLOPE.
- ㉑ — INSTALL 4" PVC PIPE @ 1.0% MIN. SLOPE.
- ㉒ — INSTALL AREA DRAIN PER DETAIL ON SHEET 1.
- ㉓ — INSTALL INLET BEHIND RETAINING WALL PER DETAIL ON SHEET 1.
- ㉔ — CONSTRUCT CONCRETE SWALE PER DETAIL ON SHEET 1.
- ㉕ — CONSTRUCT 3'X3' SIDE OPENING CATCH BASIN.
- ㉖ — CONSTRUCT 8" CURB & 12" GUTTER PER LA CITY DPW STD. PLAN NO. S-410-2.
- ㉗ — CONSTRUCT 6" CURB PER LA CITY DPW STD. PLAN NO. S-410-2.
- ㉘ — 6" CURB WITH 4" DRAINAGE SIDE OPENING AT EVERY 2' ON CENTER.
- ㉙ — CONSTRUCT CROSS GUTTER PER LA CITY DPW STD. PLAN NO. S-410-2, g=2.0' & v=3".
- ㉚ — INSTALL 6" PERFORATED PVD AS LID DISCHARGE SPREADER, WITH LEVEL INVERTS @ ELEV. 261.00.
- ㉛ — CONSTRUCT INFILTRATION TRENCH AS LID BMP.
- ㉜ — CONSTRUCT PERVIOUS ASPHALT DRIVEWAY/PARKING PER DETAIL ON SHEET 3.
- ㉝ — CONSTRUCT PERVIOUS CONCRETE WALKWAY PER DETAIL ON SHEET 3.
- ㉞ — BICYCLE PARKING PER ARCHITECTURAL PLANS.

**LID NOTE:**

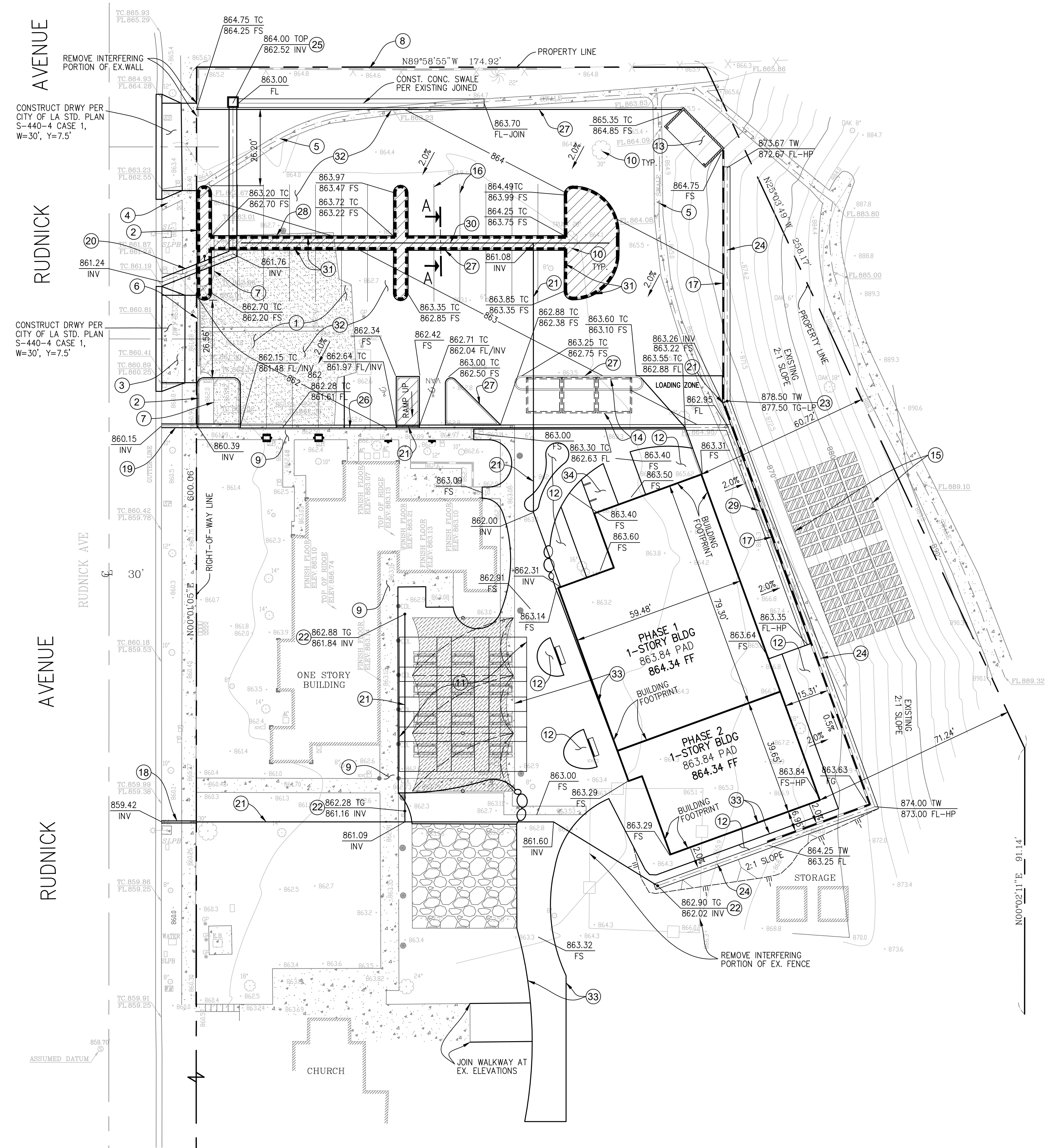
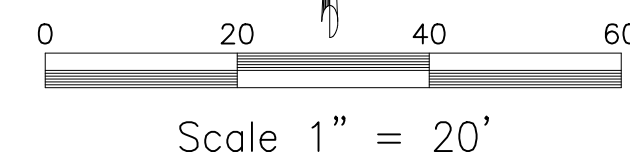
1. ALL PROPOSED PAVEMENTS ARE PERVIOUS PAVEMENT, TO ACCOUNT FOR THE TREATMENT OF INCIDENTAL RAINFALL.
2. BUILDING ROOF WILL BE TREATED FOR INFILTRATION USING INFILTRATION TRENCH.

**STRUCTURAL NOTE:**

ALL SITE STRUCTURAL PLANS WILL BE PROVIDED DURING PLAN CHECK.



**IMPORTANT NOTICE**  
 Section 4216/4217 of the Government Code requires a DigAlert Identification Number be issued before a "Permit to Excavate" will be valid. For your DigAlert I.D. Number Call Underground Service Alert  
**TOLL FREE 1-800-422-4133**  
 Two working days before you dig

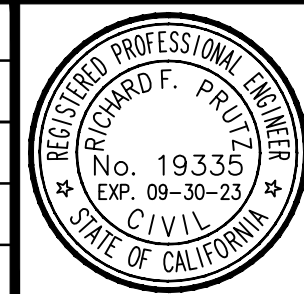


NOT FOR CONSTRUCTION

NOTE: PROVIDE STENCILING WITH EITHER LOGO SHOWN ABOVE ON ALL STORM DRAIN INLETS.

**STENCILING DETAIL**  
 N.T.S.

DATE	REVISIONS



PLAN PREPARED UNDER THE DIRECTION OF:  
*Richard F. Prutz*  
 RICHARD F. PRUTZ R.C.E. 19335  
 01-10-22  
 DATE

PREPARED BY:  
  
**WESTCON ENGINEERING, INC.**  
 LAND PLANNING ENGINEERING LAND SURVEYING  
 6335 TOPANCA CANYON BLVD., SUITE 345  
 WOODLAND HILLS, CA. 91367  
 818-226-0444 VOICE 818-226-0448 FAX  
 E-MAIL: info@westconeng.com

PREPARED FOR:  
**WEST VALLEY FOOD PANTRY COMMUNITY CENTER**  
 5700 RUDNICK AVENUE,  
 WOODLAND HILLS, CA. 91367

PROJECT:  
**PRELIMINARY GRADING, DRAINAGE, AND LID PLAN**  
 5700 RUDNICK AVENUE,  
 WOODLAND HILLS, CA. 91367

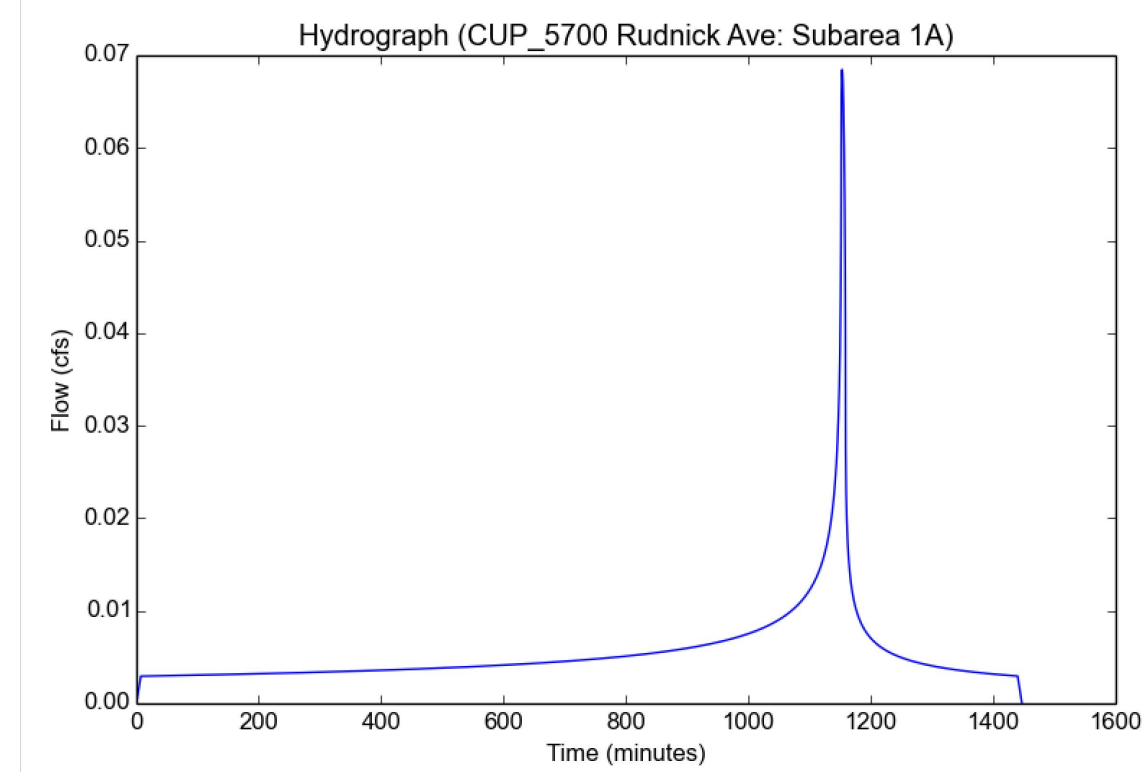
W.O.:  
 SCALE: 1" = 20'  
 DATE: 01-10-22  
 SHEET: 2 OF 3

**Peak Flow Hydrologic Analysis**

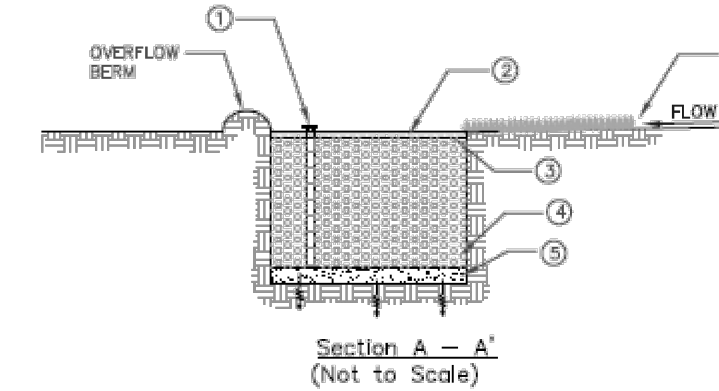
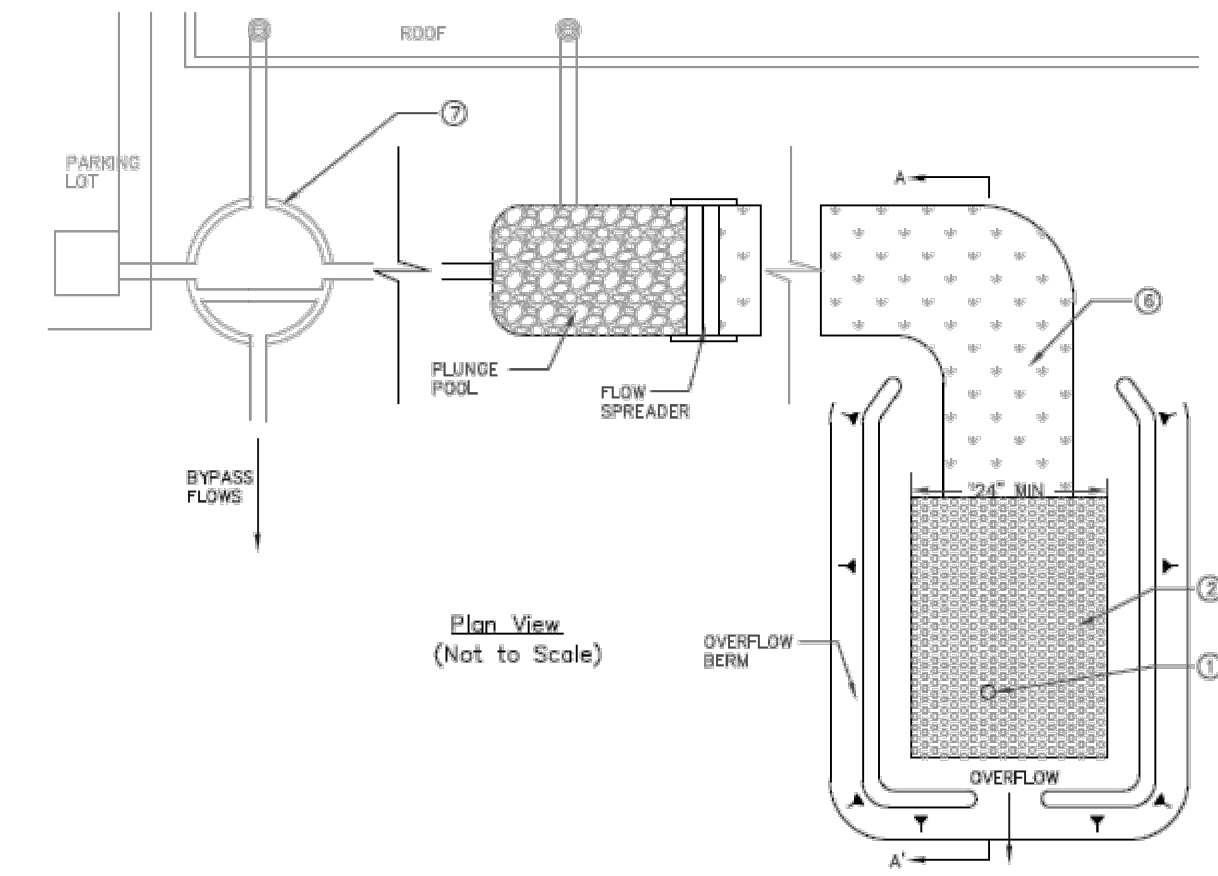
File location: D:\WestconEngineering\21004\_West Valley Food Pantry\_GD\_LID\DRAWINGS\RASTERS\NEW 1-9-22\_HYDROCalc\_5700\_Rudnick Ave - Version: HydroCalc 1.0.2

Input Parameters	
Project Name	CUP_5700 Rudnick Ave
Subarea ID	Subarea 1A
Area (ac)	0.162
Flow Path Length (ft)	70.0
Flow Path Slope (vt/hft)	0.01
85th Percentile Rainfall Depth (in)	1.0
Percent Impervious	0.9
Soil Type	20
Design Storm Frequency	85th percentile storm
Fire Factor	0
LID	True

Output Results	
Modeled (85th percentile storm) Rainfall Depth (in)	1.0
Peak Intensity (in/hr)	0.5094
Undeveloped Runoff Coefficient (Cu)	0.1973
Developed Runoff Coefficient (Cd)	0.8297
Time of Concentration (min)	7.0
Clear Peak Flow Rate (cfs)	0.0685
Burned Peak Flow Rate (cfs)	0.0685
24-Hr Clear Runoff Volume (ac-ft)	0.011
24-Hr Clear Runoff Volume (cu-ft)	478.4775



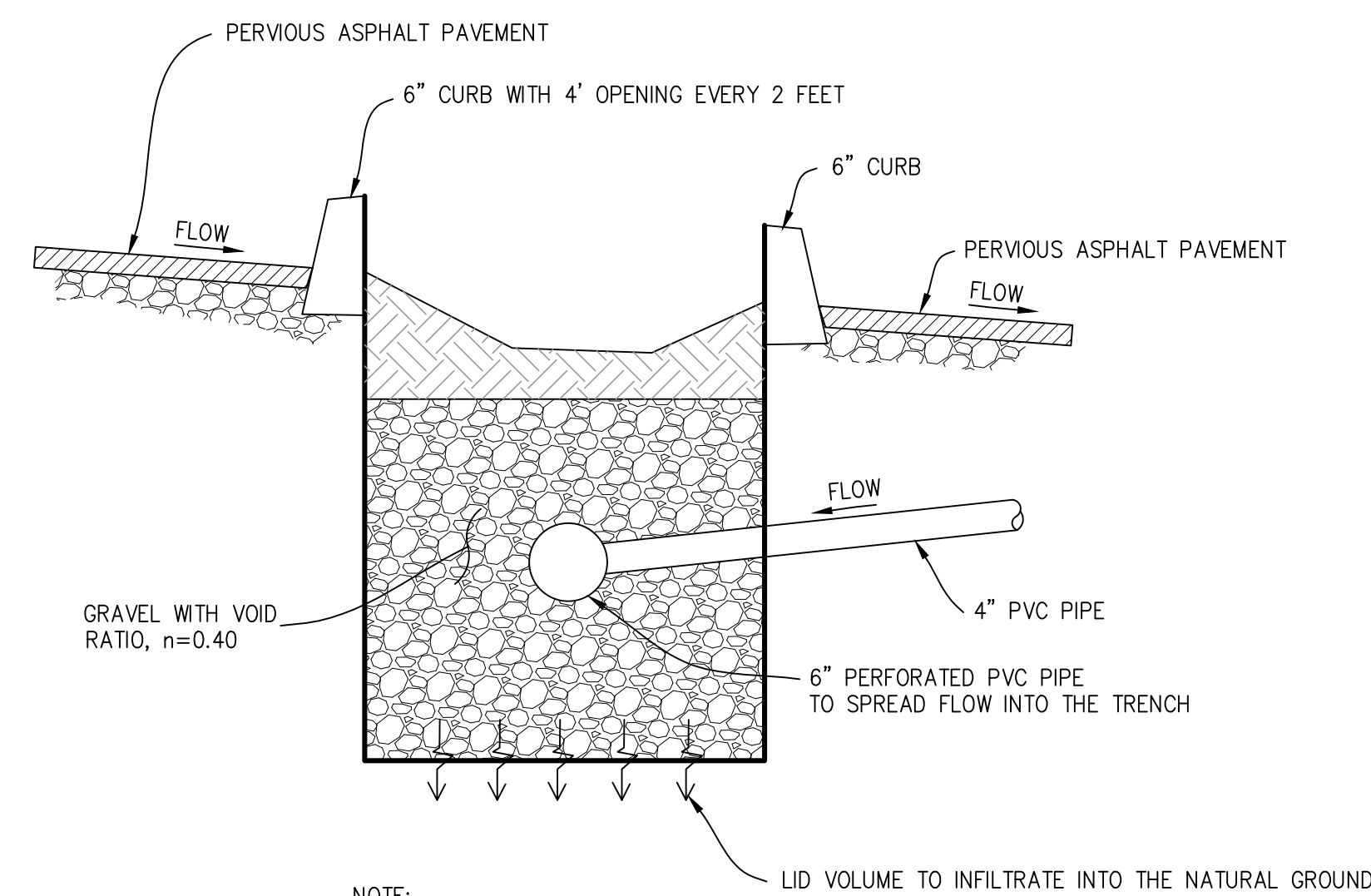
**RET-3: Infiltration Trench**



- NOTES:
1. OBSERVATION WELL WITH LOCKABLE ABOVE-GROUND CAP
  2. 2" PEA GRAVEL FILTER LAYER
  3. PROVIDE FILTER FABRIC IF NO PRETREATMENT IS PROVIDED
  4. 3" - 5" DEEP TRENCH FILLED WITH 2" - 6" DIAMETER CLEAN STONE WITH 30% - 40% Voids
  5. 6" DEEP SAND FILTER LAYER (OR FABRIC EQUIVALENT)
  6. RUNOFF FILTERS THROUGH GRASS FILTER STRIP OR VEGETATED SWALE
  7. OPTIONAL FLOW CONTROL DEVICE FOR OFF-LINE CONFIGURATIONS

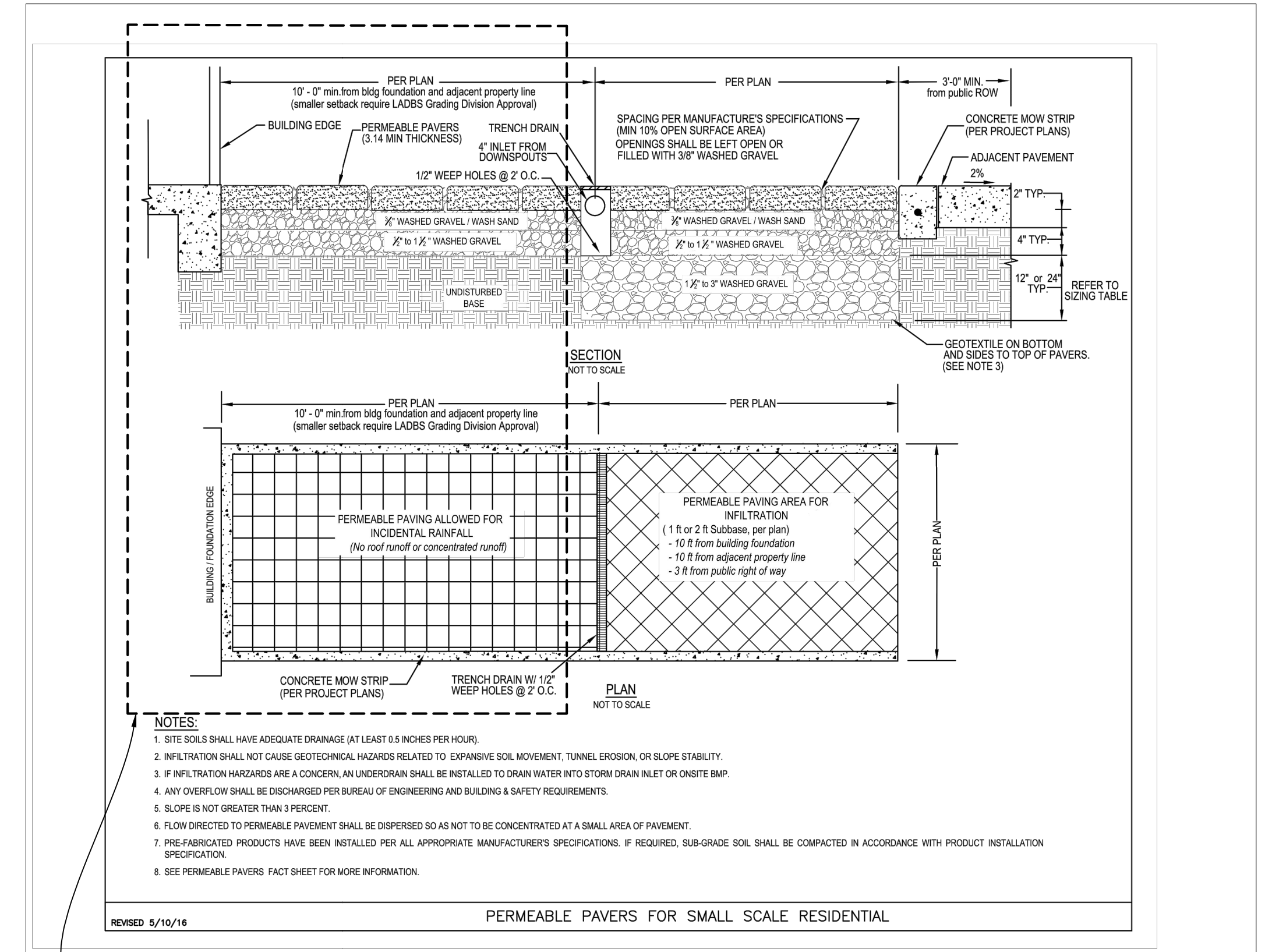
Figure E-3. Infiltration Trench Schematic

County of Los Angeles E-24 February 2014



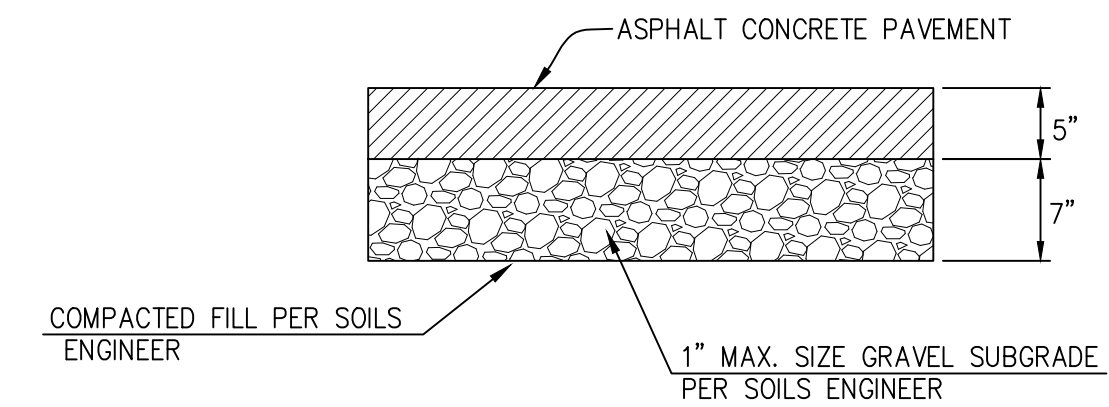
NOTE:  
 $V_m = 478 \text{ CU-FT}$   
 $n = 0.40$   
 $K_{sot, design} = 0.167 \text{ IN/HR}$   
 $A_{bottom} \text{ (provided)} = 1374 \text{ sq-ft}$   
 $\text{Calc. Depth} = 0.87 \text{ FT}$   
 $\text{Calc. Drawdown Time, } T = 62.5 \text{ HOURS}$

**SECTION A-A  
INFILTRATION TRENCH DETAIL**  
N.T.S.



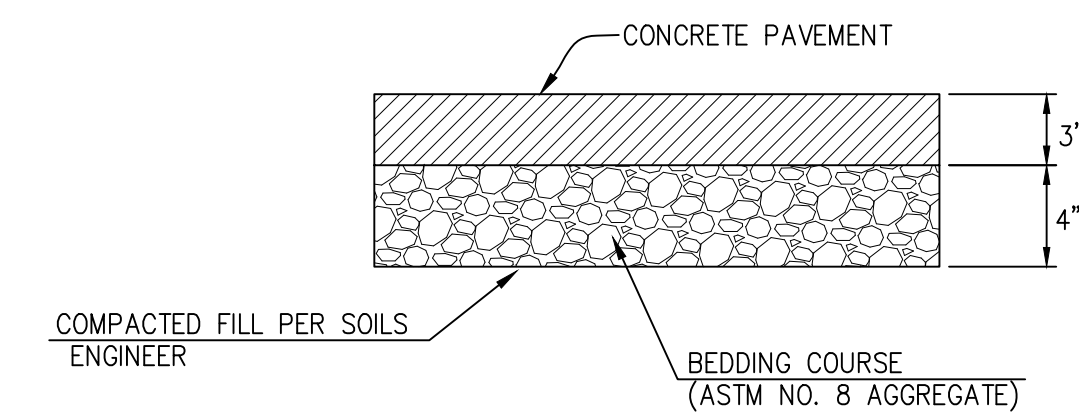
- NOTES:
1. SITE SOILS SHALL HAVE ADEQUATE DRAINAGE (AT LEAST 0.5 INCHES PER HOUR).
  2. INFILTRATION SHALL NOT CAUSE GEOTECHNICAL HAZARDS RELATED TO EXPANSIVE SOIL MOVEMENT, TUNNEL EROSION, OR SLOPE STABILITY.
  3. IF INFILTRATION HAZARDS ARE A CONCERN, AN UNDERDRAIN SHALL BE INSTALLED TO DRAIN WATER INTO STORM DRAIN INLET OR ONSITE BMP.
  4. ANY OVERFLOW SHALL BE DISCHARGED PER BUREAU OF ENGINEERING AND BUILDING & SAFETY REQUIREMENTS.
  5. SLOPE IS NOT GREATER THAN 5 PERCENT.
  6. FLOW DIRECTED TO PERMEABLE PAVEMENT SHALL BE DISPERSED SO AS NOT TO BE CONCENTRATED AT A SMALL AREA OF PAVEMENT.
  7. PRE-FABRICATED PRODUCTS HAVE BEEN INSTALLED PER ALL APPROPRIATE MANUFACTURERS SPECIFICATIONS. IF REQUIRED, SUB-GRADE SOIL SHALL BE COMPACTED IN ACCORDANCE WITH PRODUCT INSTALLATION SPECIFICATION.
  8. SEE PERMEABLE PAVERS FACT SHEET FOR MORE INFORMATION.

**PERMEABLE PAVEMENT DETAIL**  
N.T.S.



NOTE:  
 CONFIRMATORY R-V VALUE TESTING SHOULD BE PERFORMED ONCE THE SUBGRADE SOILS HAVE BEEN IDENTIFIED.  
 STRUCTURAL SECTION TO BE CONFIRMED BY THE SOILS ENGINEER

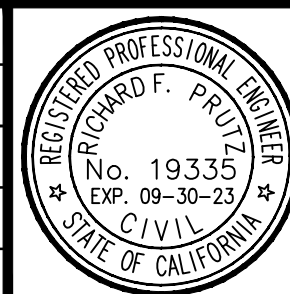
**PERVIOUS ASPHALT  
DRIVEWAY/PARKING AREA DETAIL**  
N.T.S.



**PERVIOUS CONCRETE  
WALKWAY PAVEMENT DETAIL**  
N.T.S.

NOT FOR CONSTRUCTION

DATE	REVISIONS



PLAN PREPARED UNDER THE DIRECTION OF:  
*Richard F. Prutz*  
 RICHARD F. PRUTZ R.C.E. 19335

PREPARED BY:  
  
**WESTCON ENGINEERING, INC.**  
 LAND PLANNING ENGINEERING LAND SURVEYING  
 6355 TOPANCA CANYON BLVD., SUITE 345  
 WOODLAND HILLS, CA. 91367  
 818-226-0444 VOICE 818-226-0448 FAX  
 E-MAIL: info@westconeng.com

PREPARED FOR:  
**WEST VALLEY FOOD PANTRY  
COMMUNITY CENTER**  
 5700 RUDNICK AVENUE,  
 WOODLAND HILLS, CA. 91367

PROJECT:  
**PRELIMINARY GRADING, DRAINAGE,  
AND LID PLAN**  
 5700 RUDNICK AVENUE,  
 WOODLAND HILLS, CA. 91367

W.O.:  
 SCALE: 1" = 20'  
 DATE: 01-10-22  
 SHEET: 3 OF 3

