



21243 Ventura Blvd. # 115
Woodland Hills, CA 91364
T (818) 710-7482
F (818) 745-5329
fdzt@dizitiarchitects.com
www.dizitiarchitects.com

NEW 3-STORY RESIDENCE
for: **Mr & Mrs KAMAL SINGH**
4924 LLANO DRIVE
WOODLAND HILLS, CA 91364
CONTACT: KAMAL SINGH 818 635. 6934

4.
3.
2.
1.

REVISIONS

CAD FILE: 1639-SINGH-MSTR1

SCALE:

DRAWN BY: F.D.Z.

DATE: JUNE 28, 2019

PHASE:
CONSTR. DOCS.

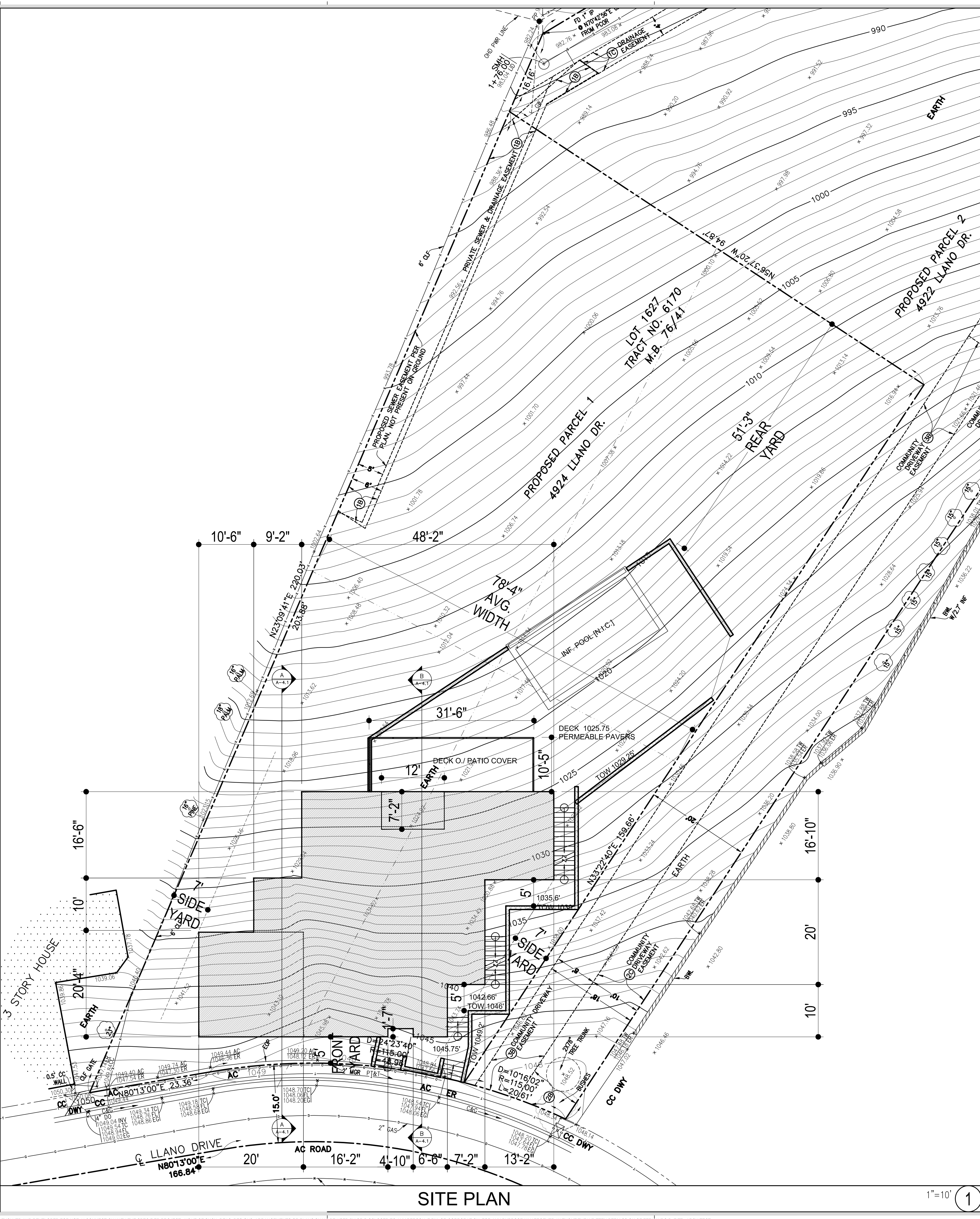
SHEET TITLE:

SITE PLAN & GENERAL NOTES

DRAWING NUMBER

A-1.1

JOB #: 1639-SINGH



SETBACK ANALYSIS

	REQUIRED	PROPOSED
FRONT SETBACK	4.62' [PREV. STB]	5'
SIDE SETBACKS	7'	7'
REAR SETBACK	15'	51'-3"
BUILDING HEIGHT	25' ENVELOPE	25'
PARKING COVERED / UNCOVERED	2 / 1	2 / 1

FLOOR AREA ANALYSIS

DESCRIPTION	AREA	B.M.O.		R.F.A.
		EXEMPT		
(E) S.F.D. PER ASSESSOR				
GARAGE				
OTHER AREAS				
TOTAL EXISTING				
NEW LOWEST FLOOR	1,160	1,160		1,110
NEW SECOND FLOOR	1,860	1,860		1,783
NEW UPPER LEVEL	1,070	1,070		1,083
GARAGE / CARPORT	400		-200	200
COVERED PATIO - 2nd FLOOR		86		86
COVERED PATIO - LOWEST FLR		328		328
OTHER AREA				
TOTAL PROPOSED	4,090	400	4,090	4,590
TOTAL				4,590

PER SLOPE BAND ANALYSIS, MAX R.F.A. IS 5,464.80 SF > 4,590 SF = HOUSE IS OK
AREAS ARE CALCULATED FOR CODE PURPOSES ONLY. SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

SITE SPECIFIC NOTES

- "PROJECT SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, RESIDENTIAL, MECHANICAL, ELECTRICAL, PLUMBING, GREEN AND ENERGY CODES"
- "THE PROJECT CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT ADJACENT PROPERTIES, WORKERS, AND OTHER PERSONS DURING EXCAVATION AND SITE PREPARATION OPERATIONS."
- THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(d))
- THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

LEGAL DESCRIPTION

PROJECT ADDRESS: 4925 LLANO DRIVE, WOODLAND HILLS, CA 91364
BUILDING DEPARTMENT: CITY OF LOS ANGELES, VAN NUYS
A.P.N.: 2170-006-085 TYPE OF CONSTRUCTION: V-B
TRACT: TR 6170 LOT: 1627
MAP REF.: M B 76-41/43 (19-21) DISTRICT MAP: 168B101
LOT SIZE: 6,846.7sq ft ZONE: R1-1

SCOPE OF WORK

NEW XXXX SF THREE-STORY SINGLE FAMILY DWELLING
TYPE V-B ON A RAISED FOUNDATION

GREEN PLAN CHECK NOTES

-THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MIN. DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
-THE SERVICE OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
-THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, EQUIPMENT, PARAPETS, AND STAIRWELLS.
-THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC."
-A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT."
-FOR PROJECTS THAT INCLUDE LANDSCAPEWORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL." (STATE ASSEMBLY BILL NO. 1881)

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:
 - THESE GENERAL NOTES, DRAWINGS AND SPECIFICATIONS.
 - ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
 - INSTALL ALL PRODUCTS PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.
- COPYRIGHT
ALL PLANS, DESIGNS, AND CONCEPTS SHOWN IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF FERNANDO DI ZITTI, ARCHITECT AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED FOR ANY PURPOSE WHATSOEVER WITHOUT ARCHITECT'S SPECIFIC WRITTEN PERMISSION
- CODES
ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS OF THE LOCAL MUNICIPALITY. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY, AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES
- FIELD VERIFICATION
THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK OR ORDERING MATERIALS.
THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT REGARDING DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK
- DIMENSIONS
WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR INTERPRETATION OR CLARIFICATION. PLAN DIMENSIONS ARE TO THE FACE OF SHEATHING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.
- DISCREPANCIES
IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THIS PROJECT, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO GIVE AMPLIFIED NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTION FROM THE ARCHITECT.
- DUTY OF COOPERATION
RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX, ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE. THEY CAN NOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT AND EVERY CONTINGENCY CAN NOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHOULD BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT, COMPOUND MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.
- CHANGES TO THE WORK
ANY ITEMS DESCRIBED HEREIN THAT IMPACT PROJECT BUDGET OR TIME, SHALL BE REQUESTED BY THE CONTRACTOR VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES GENERAL CONTRACTOR'S ACKNOWLEDGMENT OF THE DEVIATION FROM THE PLANS. ALL CHANGES TO WORK MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES
- WORKMANSHIP
IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES AND EQUIPMENT TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY. INSTALL ALL PRODUCTS AND/OR MATERIALS IN STRICT COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- JOB SITE
TEMPORARY SANITARY FACILITIES TO BE PROVIDED FOR WORKMEN'S USE. AS APPROVED BY THE DEPT. OF BUILDING & SAFETY.
DURING THE CONSTRUCTION CARE SHALL BE TAKEN TO KEEP THE SITE AS CLEAN OF EXCESS OF MATERIAL AS POSSIBLE. UPON COMPLETION OF THE CONSTRUCTION OR THAT PORTION THEREOF PERTAINING TO A PARTICULAR TRADE, ALL EXCESS MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE IMMEDIATELY, AND NEW CONSTRUCTION IS TO BE LEFT IN A BROOM CLEAN CONDITION. THE PROJECT CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT ADJACENT PROPERTIES, WORKERS, AND OTHER PERSONS DURING EXCAVATION AND SITE PREPARATION OPERATIONS.

PARCEL PROFILE REPORT:

<p>Address/Legal Information PIN Number 168B101 389 Lot/Parcel Area (Calculated) 6,846.7 (sq ft) Thomas Brothers Grid PAGE 559 - GRID J4 Assessor Parcel No. (APN) 2170006085 Tract TR 6170 Map Reference M B 76-41/43 (SHTS 19-21) Block H Lot 1627 Arb (Lot Cut Reference) None Map Sheet 168B101</p>	<p>Assessor Information Assessor Parcel No. (APN) 2170006085 APN Area (Co. Public Works)* 0.157 (ac) Use Code 0100 - Res. - Single Family Residence Building 1 Year Built N/A Building Class N/A Number of Units 0 Number of Bedrooms 0 Number of Bathrooms 0 Building Square Footage 0 (sq ft)</p>
<p>Jurisdictional Information Community Plan Area Canoga Park - Winnetka - Woodland Hills - West Hills Area Planning Commission South Valley Neighborhood Council Woodland Hills/Warner Center Council District CD 3 - Bob Blumenfeld Census Tract # 1374.021 LADBS District Office Van Nuys</p>	<p>Additional Information Airport Hazard None Coastal Zone None Farmland Urban and Built-up Land Urban Agriculture Incentive Zone Yes Very High Fire Hazard Severity Zone Yes Fire District No. 1 No Flood Zone None Watercourse No Hazardous Waste / Border Zone Properties No Methane Hazard Site None High Wind Velocity Areas No Spec. Grad'g Area(BOE Basic Grid A-13372) Yes Oil Wells None</p>
<p>Planning and Zoning Information Special Notes None Zoning R1-1 Zoning Information (Z) Z1-1224 Mulholland Scenic Pkwy (Outer Corridor) Z1-2462 (Modif. to SF Zones & SF Zone Hillside Area Reg's)</p>	<p>Seismic Hazards Active Fault Near-Source Zone Nearest Fault (Distance in km) 10.3827072 Nearest Fault (Name) Malibu Coast Fault Region Transv. Ranges & L A Basin Fault Type B Slip Rate (mm/year) 0.3000000 Slip Geometry Left Lateral - Reverse - Oblique Slip Type Poorly Constrained Down Dip Width (km) 13.0000000 Rupture Top 0.0000000 Rupture Bottom 13.0000000 Dip Angle (degrees) 75.0000000 Maximum Magnitude 6.7000000 Alquist-Prilo Fault Zone No Landslide Yes Liquefaction No Preliminary Fault Rupture Study Area No Tsunami Inundation Zone No</p>
<p>General Plan Land Use Low Residential General Plan Footnote(s) Yes Hillside Area (Zoning Code) Yes Specific Plan Area Mulholland Scenic Pkwy (Outer Corridor) Special Land Use / Zoning None Design Review Board Yes Historic Preservation Review No Historic Preservation Overlay Zone None Other Historic Designations None Other Historic Survey Information None Mills Act Contract None Comm. Design Overlay None Community Plan Imp. Overlay None District None Subarea None Clean Up-Green Up None Neighborhood Stabilization Overlay No Pedestrian Oriented Districts None Sign District No Streetscape No Adaptive Reuse Incentive Area None Ellis Act Property No Rent Stabilization Ordinance (RSO) No CRA - Community Redevelopment Agency None Central City Parking No Downtown Parking No Building Line None 500 Ft School Zone Active/Woodland Hills School Elementary 500 Ft Park Zone No</p>	<p>Economic Development Areas Business Improvement District None Promise Zone None Renewal Community None Revitalization Zone None State Enterprise Zone None Targeted Neighborhood Initiative None</p> <p>Public Safety Police Information Bureau Valley Division / Station Topanga Reporting District 2185 Fire Information Bureau Valley Battalion 17 District / Fire Station 84 Red Flag Restricted Parking No</p>

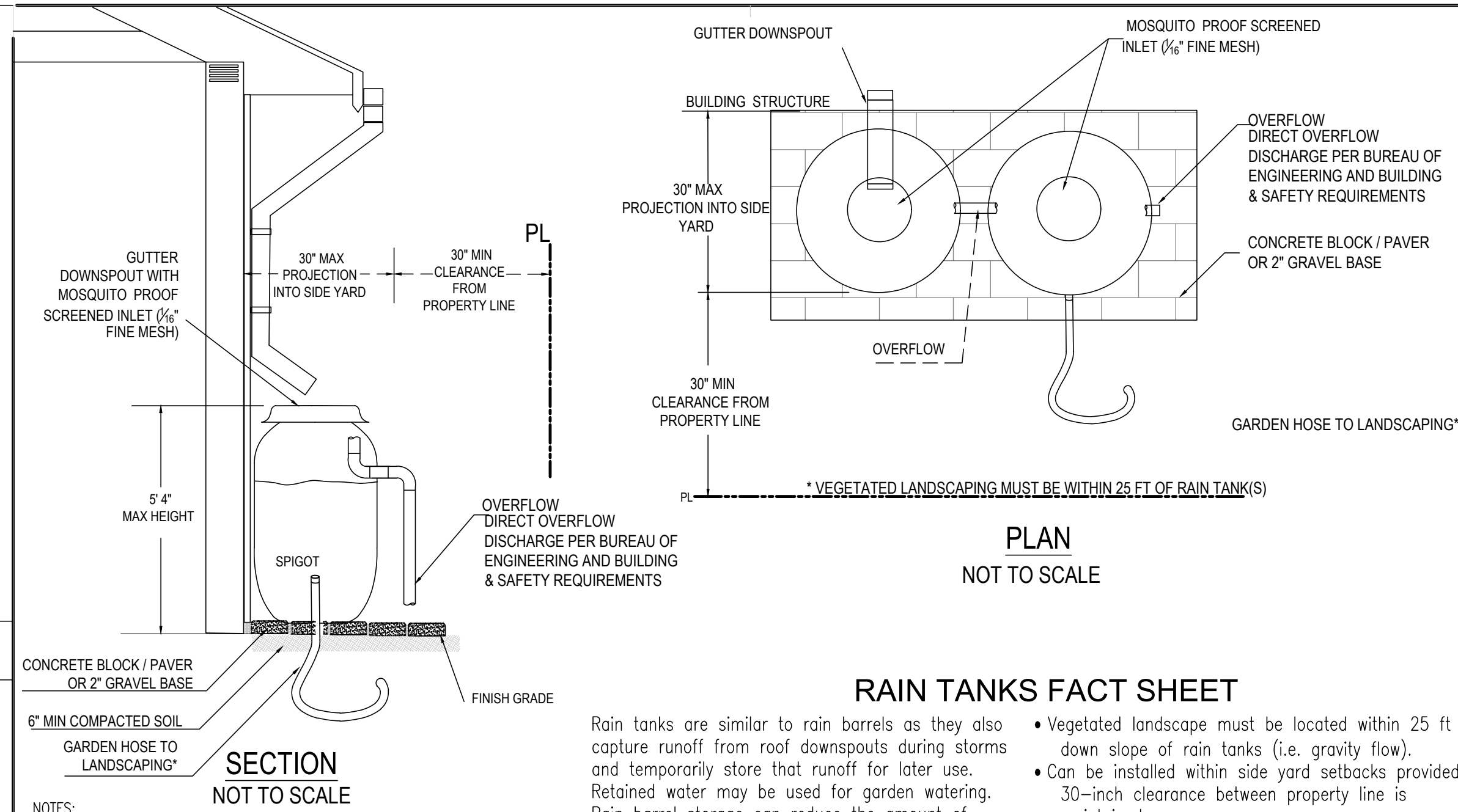
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWINGS ARE THE PROPERTY OF FERNANDO DI ZITTI, ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION, FOR ANY PURPOSE WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF FERNANDO DI ZITTI, ARCHITECT.



DIZITTI
ARCHITECTS

21243 Ventura Blvd. # 115
Woodland Hills, CA 91364
T (818) 710-7482
F (818) 745-5329
fdzt@dizittiarchitects.com
www.dizittiarchitects.com

NEW 3-STORY RESIDENCE
for: **Mr & Mrs KAMAL SINGH**
4924 LLANO DRIVE
WOODLAND HILLS, CA 91364
CONTACT: KAMAL SINGH 818.635.6934



RAIN TANKS FACT SHEET

Rain tanks are similar to rain barrels as they also capture runoff from roof downspouts during storms and temporarily store that runoff for later use. Retained water may be used for garden watering. Rain barrel storage can reduce the amount of stormwater pollutants that are picked up and conveyed to local streams and the ocean. In addition, harvested water conserves precious City-supplied potable water. Rain tanks are made of heavy duty plastic and are available in many shape and sizes.

Are rain tanks feasible for my area?

- Rain tanks are only allowed for small scale residential projects that add or redevelop more than 1,000 SF of impervious area.
- Design Requirements:
 - Roof areas with downspouts are required.
 - A level, firm surface for support of the rain tank(s).
 - Rain tanks must be placed on a solid base and anchored to the exterior wall, and if required, to the foundation.
 - Rain tanks shall not be located near retaining walls.
 - Rain tanks must flow via gravity to vegetated landscape or obtain LA County Health approval (see Appendix K).

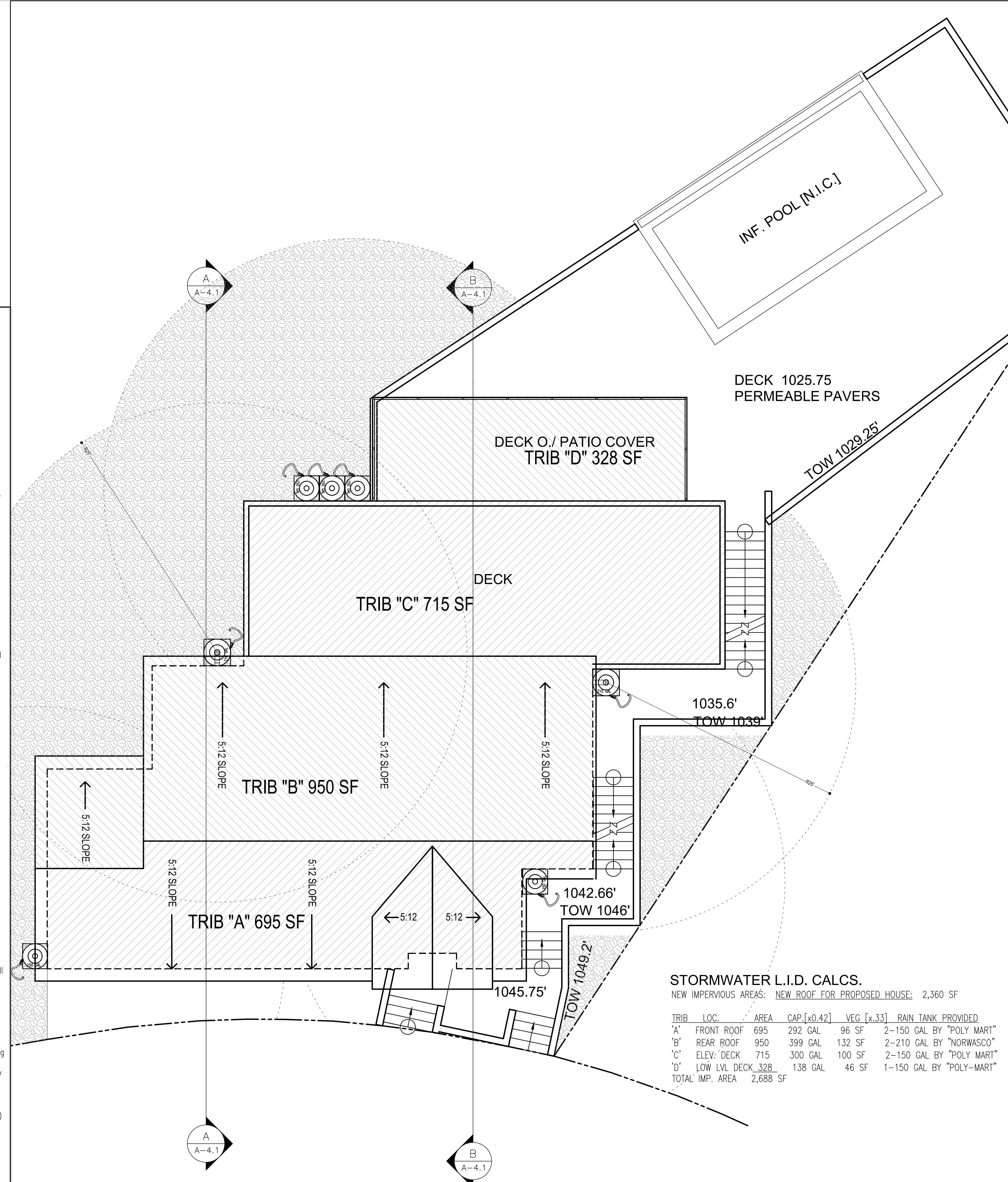
Operations and Maintenance:

- Rain tank components will be inspected 4 times annually and following major storm events. Screens, spigots, downspouts, and leaders will be repaired or replaced as needed.
- Rain tank will be cleaned as necessary to prevent algae growth and the breeding of vectors. Cleaning should always take place on a permeable surface. If vectors are breeding in a rain barrel, the barrel will be drained immediately.
- During dry periods, spigot drains will be left open when barrel is not in use.
- Dispersion areas will be maintained to remove trash and debris, loose vegetation. Areas of bare soil should be rehabilitated to minimize erosion.
- Where possible, effective energy dissipation and uniform flow spreading methods will be used to prevent erosion and aid dispersion.
- If adequate mosquito control is not in place and well-maintained, rain barrels will be emptied as necessary to prevent standing water from remaining in a barrel for more than 3 days, thereby preventing vectors from breeding. If vector breeding occurs as a result of contained storm water or inadequately maintained BMPs, I understand that the Greater Los Angeles County Vector Control District has the ability to fine site owners for violating the California Health and Safety Code (Section 2060 - 2067).
- Rain gutters will be inspected and cleaned at least twice annually.

RAIN TANK SUPPLIERS (THE CITY OF LOS ANGELES DOES NOT ENDORSE ANY SPECIFIC PRODUCT OR VENDOR)

Bushman Rain Tanks: <http://bushmanusa.com/> Rainwater HOG: <http://rainwaterhog.com/>
 Rain Tank Depot: <http://www.raintankdepot.com/> Lowes: <http://www.lowes.com/>
 Plastic Mart: <http://www.plastic-mart.com/> <http://www.rainharvest.com/>
 Graf Rain Tanks: <http://www.graf-water.com/> Hey Tanks LA: <http://heytanksla.com/>
 Home Depot: <http://www.homedepot.com/>

- NOTES:**
1. SCREENS ARE PRESENT ON ALL RAIN TANK INLETS TO REMOVE DEBRIS AND LARGER PARTICLES AS THE WATER ENTERS THE TANK. REMOVABLE CHILD-RESISTANT COVERS AND MOSQUITO SCREENING ARE IN PLACE.
 2. TANK IS CHILD SAFE. ACCESS IS CHILD-PROOF AND THE BARREL IS PROPERLY SITED AND ANCHORED ON A STABLE SURFACE TO PREVENT TANK FROM TIPPING OVER.
 3. ABOVE-GROUND TANKS SHALL NOT BE LOCATED ON UNEVEN OR SLOPED SURFACE; IF INSTALLED ON A SLOPED SURFACE, THE BASE WHERE THE TANK IS INSTALLED HAS BEEN LEVELED USING APPROPRIATE CONSTRUCTION MATERIAL PRIOR TO INSTALLATION.
 4. INSTALLED RAIN TANKS SHALL NOT BE PLACED ON ELEVATED PLATFORMS, DECKS OR PORCHES WITHOUT CONSULTING LOCAL BUILDING CODE OFFICIALS.
 5. DIRECT OVERFLOW DISCHARGE PER BUREAU OF ENGINEERING AND BUILDING AND SAFETY REQUIREMENTS.
 6. DISPERSION IS DIRECTED SO AS NOT TO KNOWINGLY CAUSE GEOTECHNICAL HAZARDS RELATED TO SLOPE STABILITY OR TRIGGERING EXPANSIVE (CLAYEY) SOIL MOVEMENT.
 7. RAIN TANKS SHALL BE OPAQUE AND DARK IN COLOR TO PREVENT UV LIGHT PENETRATION AND DISCOURAGE ALGAE GROWTH.
 8. TANK PLACEMENT SHALL ALLOW EASY ACCESS FOR REGULAR MAINTENANCE.
 9. COLLAPSIBLE RAIN TANKS ARE NOT PERMITTED.
 10. SEE RAIN TANK FACT SHEETS FOR MORE INFORMATION
- Design Criteria and Considerations:**
- Screens are present on all rain tank inlets to remove debris and larger particles as the water enters the tank.
 - Removable child-resistant covers and mosquito screening are in place.
 - Rain tank(s) is properly cited on a stable surface, and anchored (strapped) to the exterior wall, or, to the foundation to prevent tank from tipping over.
 - Above-ground tanks are not located on uneven or sloped surfaces; if installed on a sloped surface, the base where the tank is installed has been leveled using appropriate construction materials prior to installation.
 - Overflow outlet is provided and designed to direct overflow discharge per LADBS and BOE requirements.
 - Rain tanks must flow via gravity or obtain LA County Health approval (see Appendix K)
 - Installed rain tank have not been placed on elevated platforms, decks or porches without consulting local building code officials.
 - A minimum area of vegetated landscape equal to half the amount of captured gallons is required and must be within 25 ft of the rain tanks or connected to a drip irrigation system.
 - Dispersion is directed so as not to knowingly cause geotechnical hazards related to slope stability or triggering expansive (clayey) soil movement. Overflow dispersion will take place at least 3 feet away from public sidewalks, at least 5 feet away from property lines and foundations, and at least 10 feet from building foundations.
 - Rain tanks are opaque and dark in color to prevent UV light penetration and discourage algae growth.
 - Rain tank placement allows easy access for regular maintenance.



STORMWATER L.I.D. CALCS.

NEW IMPERVIOUS AREAS: NEW ROOF FOR PROPOSED HOUSE: 2,360 SF

TRIB	LOC.	AREA	CAP. [x0.42]	VEG [x.33]	RAIN TANK PROVIDED
'A'	FRONT ROOF	695	292 GAL	96 SF	2-150 GAL BY "POLY MART"
'B'	REAR ROOF	950	399 GAL	132 SF	2-210 GAL BY "NORWASCO"
'C'	ELEV. DECK	715	300 GAL	100 SF	2-150 GAL BY "POLY MART"
'D'	LOW LVL DECK_328	138	58 GAL	46 SF	1-150 GAL BY "POLY-MART"
TOTAL IMP. AREA		2,688 SF			

RAIN TANKS [SMALL SCALE RESID. PROJECTS over 1,000 SF]

JUNE 1, 2016
NTS
LA-WPD-TANKCOVER 1000SF (2)

PROPOSED ROOF / L.I.D. PLAN

3/16"=1'-0" (2)

NO.	DATE	REVISIONS
4.		
3.		
2.		
1.		

REVISIONS

CAD FILE: 1639-SINGH-MSTR1

SCALE:

DRAWN BY: F.D.Z.

DATE: JUNE 28, 2019

PHASE:
CONSTR. DOCS.

SHEET TITLE:

ROOF PLAN

DRAWING NUMBER

A-1.2

JOB #: 1639-SINGH

Add Lot

Enter the Lot Information after adding rows:

Lot	Frontage (ft)	Setback (ft)	
1	16		×
2	89.5	5	×
3	125.5	12	×
4	66.9	7	×
5	89.41	14	×
6	50.45	5	×
7	50.44	5	×
8	47.32	11	×
9	85.67	5	×
10	87.25		×
11	87.25		×
12	49.38	23	×
13	43.33	6	×
14	10.12		×
15	10.12		×
16	20.61		×
17	73.33		×
18	55	2	×
19	88.32	2	×
20	12.38		×
21	121.64	2	×
22	115.26	5	×
23	65.18	9	×
24	65.86	8	×
25	57.23	8	×

Calculate

Results

Number of lots: **25**

Prevailing Setback: 4.62 ft

Calculation

Total no of lots entered: **25**
 Total frontage entered: **1583.45 ft**
 40% from total frontage entered: **633.38 ft**
 No of lots used in the calculation: **13**
 Setback range used: **0.50 ft - 9.00 ft**
 Total frontage used in the calculation: **954.78**

Lots Used

Lot	Frontage (ft)	Setback (ft)
2	89.50	5.00
4	66.90	7.00
6	50.45	0.50
7	50.44	5.00
9	85.67	0.50
13	43.33	6.00
18	55.00	2.00
19	88.32	2.00
21	121.64	2.00
22	115.26	5.00
23	65.18	9.00
24	65.86	8.00
25	57.23	8.00

View Calculation Details



DIZITI
ARCHITECTS

21243 Ventura Blvd. # 115
 Woodland Hills, CA 91364
 T (818) 710-7482
 F (818) 745-5329
 fdzt@dizitiarchitects.com
 www.dizitiarchitects.com

NEW 3-STORY RESIDENCE
 for: **Mr & Mrs KAMAL SINGH**
 4924 LLANO DRIVE
 WOODLAND HILLS, CA 91364
 CONTACT: KAMAL SINGH 818 635. 6934

REVISIONS
4
3
2
1

CAD FILE: 1639-SINGH-MSTR1
 SCALE:
 DRAWN BY: F.D.Z.
 DATE: JUNE 28, 2019
 PHASE:
 CONSTR. DOCS.
 SHEET TITLE:
PREVAILING SETBACK CALCS
 DRAWING NUMBER

A-1.3
 JOB#: 1639-SINGH

PREVAILING SETBACK MAP

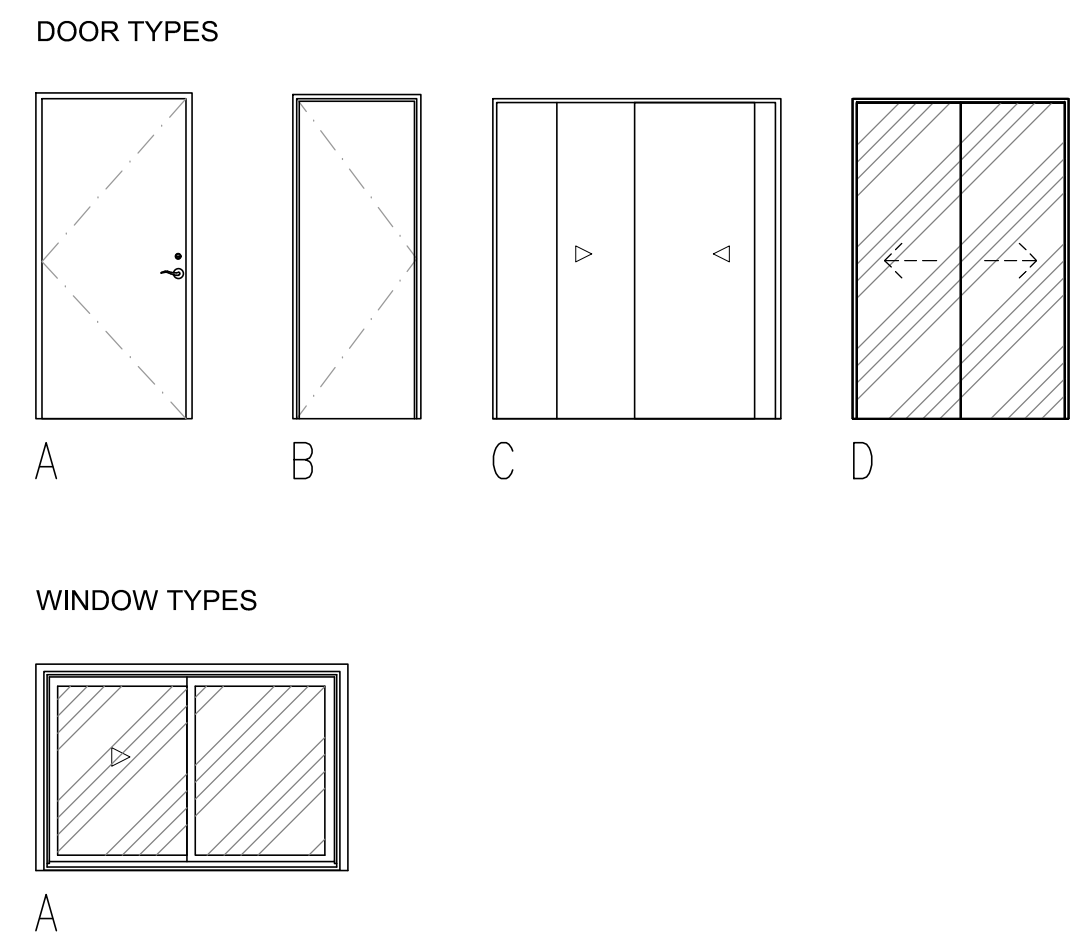
1"=50' 1

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWINGS, ARE THE PROPERTY OF FERNANDO DIZITI, ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION, FOR ANY PURPOSE WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF FERNANDO DIZITI, ARCHITECT.

H:\Desktop\DIZITI ARCHITECTS\Projects\1639-SINGH-MSTR1.dwg, 11/19/2020 11:33:03 AM

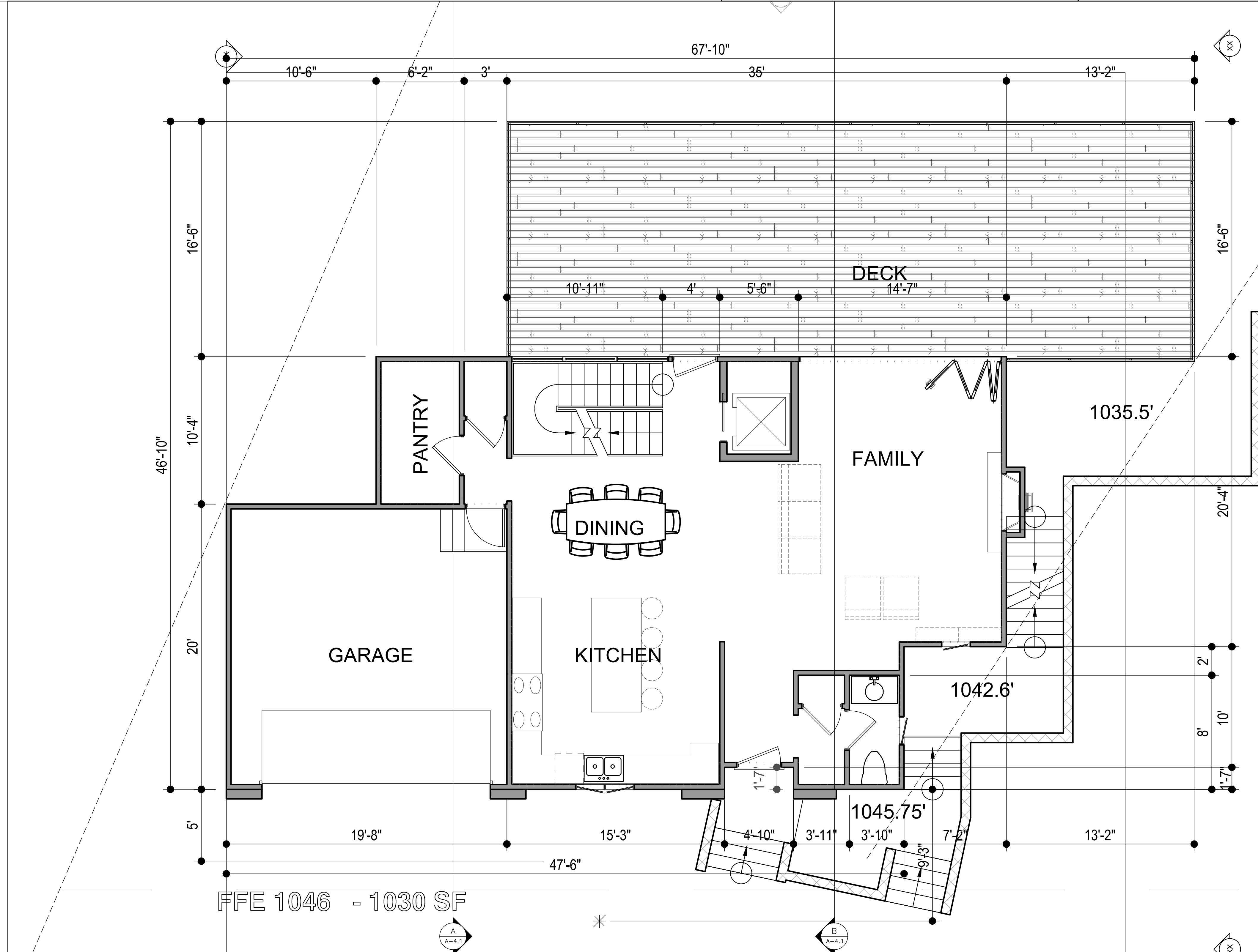
DOOR SCHEDULE						
SYM.	SIZE	TYPE	DESCRIPTION	QTY	FRAME	NOTATION
01	3'-0" x 7'-0"	A	ENTRY DOOR	1	WOOD	1,2,3
02	2'-8" x 7'-0"	B	INT. SINGLE HINGED DOOR	5	WOOD	1,2
03	2'-8" x 6'-8"	B	INT. SINGLE HINGED DOOR	18	WOOD	1,2
04	3'-0" x 7'-0"	B	EXT. SINGLE HINGED DOOR	3	WOOD	1,2,3
05	6'-2" x 6'-8"	D	SLIDING EXTERIOR DOOR	3	WOOD	1,2,4,13,14
06	5'-2" x 6'-8"	C	SLIDING CLOSET DOOR	1	WOOD	1,2
07	3'-9" x 6'-8"	C	SLIDING CLOSET DOOR	1	WOOD	1,2
08	8'-2" x 6'-8"	D	SLIDING EXTERIOR DOOR	2	WOOD	1,2,4,13

WINDOW SCHEDULE						
SYM.	SIZE	TYPE	DESCRIPTION	QTY	FRAME	NOTATION
1	4'-0" x 2'-0"	A	SLIDER WINDOW	2	VINYL	1,8,9,11,14



- FLOOR PLAN NOTES** #
- HARD WIRED SMOKE DETECTOR OR CARBON MONOXIDE ALARM W/ BATTERY BACK-UP
 - LOW CONSUMPTION WATER CLOSET, 1.28 GALLONS MAXIMUM FLUSH
 - BATHROOM EXHAUST FAN TO BE ENERGY STAR COMPLIANT, 50 CFM HUMIDITY/STAT CONTROLLED
 - TEMPERED OPAQUE SHATTERPROOF GLASS ENCLOSURE W/ TOWEL BAR
 - BATHROOM SINK TBD
 - COUNTERTOP TBD
 - TUB TBD
 - LINEN CABINET W/SHELVING
 - POLE AND SHELF
 - GRANITE COUNTERTOP TBD
 - KITCHEN SKIN TBD
 - COUNTERTOP TBD

- WALL LEGEND**
- EXISTING WALLS TO REMAIN
 - EXIST. WALLS, FIXTURES & EQUIPMENT TO BE REMOVED. VERIFY EXTENTS ON PLAN.
 - NEW WALLS: 2x4 STUDS U.N.O. @ 16" oc WITH 5/8" G.W.B. EACH SIDE
 - 1-HR. FIRE RESISTING PARTITION, 2x4 STUDS MIN. @ 16" O.C. W/ 5/8" TYPE 'X' G.W.B. EA. SIDE. IF WALL IS EXISTING, VERIFY CONDITION.
 - NEW OR EXIST. C.M.U. WALL. THICKNESS PER PLAN
- NOTES:**
- ALL DIMENSIONS ARE BASED ON THEIR RELATIONSHIP TO EXISTING CONSTRUCTION. CAREFULLY LAY OUT WORK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING. IF ANY DISCREPANCIES ARE FOUND, NOTIFY THE ARCHITECT IMMEDIATELY BEFORE CONTINUING WITH THE LAYOUT.
- DEMO NOTES:**
- DEMOLITION SHOWN IS FOR GENERAL REFERENCE ONLY. PERFORM ALL DEMOLITION AS REQUIRED TO ACCOMMODATE THE NEW WORK AND PATCH BACK AS REQUIRED. ALL EXISTING CONSTRUCTION TO REMAIN. REMOVE ALL UNUSED ROOFTOP EQUIPMENT, CURBS, ETC.
- SAWCUTTING:**
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAWCUTTING, TRENCHING, RECOMPACTION AND PATCH BACK THE CONC. SLAB AND FOOTINGS FOR ALL UNDERGROUND PLUMBING AND ELECTRICAL WORK AND FOOTINGS. VERIFY EXTENTS.
- ASBESTOS ABATEMENT:**
- THE OWNER SHALL PROVIDE ALL REQUIRED ASBESTOS ABATEMENTS UNDER A SEPARATE CONTRACT.
- ELECTRICAL DEMO NOTES:**
- CAUTION !!! THIS BUILDING IS ENERGIZED. GENERAL CONTRACTOR IS TO PROVIDE A QUALIFIED ELECTRICIAN TO ENSURE ALL CIRCUITS ARE DE-ENERGIZED BEFORE ALLOWING ANY DEMOLITION.
 - PROTECT EXISTING PANELS AND DISTRIBUTION EQUIPMENT TO REMAIN. REMOVE AND DISPOSE OF PANEL AND EQUIPMENT SHOWN AND NOTIFY ELECTRICAL ENGINEER OR THE ARCHITECT OF ANY FLUCT.
 - REMOVE AND DISPOSE OF ALL UNUSED LIGHTING CIRCUITS, BOTH CONDUIT & WIRE. J-BOXES, HANGERS, ETC., EXCEPT MAINTAIN CIRCUITS WHICH ARE REQUIRED FOR TEMPORARY LIGHTING DURING CONSTRUCTION.
 - REMOVE & DISPOSE OF ALL UNUSED POWER CIRCUITS, BOTH CONDUIT AND WIRE. J-BOXES, HANGERS, ETC.
 - REMOVE AND DISPOSE OF ALL FLOOR BOXES IF ANY, AND PROVIDE FLUSH APPROVED COVERS AT EACH ACCESS HOLE.
- MECHANICAL DEMO NOTES:**
- REMOVE AND DISPOSE OF ALL UNUSED HVAC EQUIPMENT AND DUCTWORK.
 - REMOVE ALL PLUMBING FIXTURES, PIPES, DRAINS, ETC., WHICH ARE NOT SHOWN TO BE REUSED. CAP LINES BELOW GRADE OR ABOVE CEILING.



DIZITI ARCHITECTS

21243 Ventura Blvd. # 115
Woodland Hills, CA 91364
T (818) 710-7482
F (818) 745-5329
fdzt@dizitiarchitects.com
www.dizitiarchitects.com

NEW 3-STORY RESIDENCE
for: Mr & Mrs KAMAL SINGH

4924 LLANO DRIVE
WOODLAND HILLS, CA 91364
CONTACT: KAMAL SINGH 818 635. 6934

4. _____
3. _____
2. _____
1. _____

REVISIONS

CAD FILE: 1639-SINGH-MSTR1
SCALE: _____
DRAWN BY: F.D.Z.
DATE: JUNE 28, 2019
PHASE: _____
CONSTR. DOCS.
SHEET TITLE: _____
UPPER LEVEL FLOOR PLAN
DRAWING NUMBER: _____

A-2.1

JOB #: 1639-SINGH



DIZITTI
ARCHITECTS

21243 Ventura Blvd. # 115
Woodland Hills, CA 91364
T (818) 710-7482
F (818) 745-5329
fdzt@dizittiarchitects.com
www.dizittiarchitects.com

NEW 3-STORY RESIDENCE
for: **Mr & Mrs KAMAL SINGH**
4924 LLANO DRIVE
WOODLAND HILLS, CA 91364
CONTACT: KAMAL SINGH 818.635.6934

4.
3.
2.
1.

REVISIONS

CAD FILE: 1639-SINGH-MSTR1

SCALE:

DRAWN BY: F.D.Z.

DATE: JUNE 28, 2019

PHASE:
CONSTR. DOCS.

SHEET TITLE:

**MID LEVEL
FLOOR PLAN**

DRAWING NUMBER

A-2.2

JOB #: 1639-SINGH

WALL LEGEND

- EXISTING WALLS TO REMAIN
- EXIST. WALLS, FIXTURES & EQUIPMENT TO BE REMOVED. VERIFY EXTENTS ON PLAN.
- NEW WALLS: 2x4 STUDS U.N.O. @ 16" oc WITH 5/8" G.W.B. EACH SIDE
- 1-HR. FIRE RESISTING PARTITION. 2x4 STUDS MIN. @ 16" O.C. W/ 5/8" TYPE 'X' G.W.B. EA. SIDE. IF WALL IS EXISTING, VERIFY CONDITION.
- NEW OR EXIST. C.M.U. WALL. THICKNESS PER PLAN

NOTES:

ALL DIMENSIONS ARE BASED ON THEIR RELATIONSHIP TO EXISTING CONSTRUCTION. CAREFULLY LAY OUT WORK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING. IF ANY DISCREPANCIES ARE FOUND, NOTIFY THE ARCHITECT IMMEDIATELY BEFORE CONTINUING WITH THE LAYOUT.

DEMO NOTES:

DEMOLITION SHOWN IS FOR GENERAL REFERENCE ONLY. PERFORM ALL DEMOLITION AS REQUIRED TO ACCOMMODATE THE NEW WORK AND PATCH BACK AS REQUIRED. ALL EXISTING CONSTRUCTION TO REMAIN. REMOVE ALL UNUSED ROOFTOP EQUIPMENT, CURBS, ETC.

SAWCUTTING:

THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAWCUTTING, TRENCHING, RECOMPACTION AND PATCH BACK THE CONC. SLAB AND FOOTINGS FOR ALL UNDERGROUND PLUMBING AND ELECTRICAL WORK AND FOOTINGS. VERIFY EXTENTS.

ASBESTOS ABATEMENT:

THE OWNER SHALL PROVIDE ALL REQUIRED ASBESTOS ABATEMENTS UNDER A SEPARATE CONTRACT.

ELECTRICAL DEMO NOTES:

1. CAUTION !!! THIS BUILDING IS ENERGIZED. GENERAL CONTRACTOR IS TO PROVIDE A QUALIFIED ELECTRICIAN TO ENSURE ALL CIRCUITS ARE DE-ENERGIZED BEFORE ALLOWING ANY DEMOLITION.

2. PROTECT EXISTING PANELS AND DISTRIBUTION EQUIPMENT TO REMAIN. REMOVE AND DIPOSE OF PANEL AND EQUIPMENT SHOWN AND NOTIFY ELECTRICAL ENGINEER OR THE ARCHITECT OF ANY FLUCT.

3. REMOVE AND DISPOSE OF ALL UNUSED LIGHTING CIRCUITS, BOTH CONDUIT & WIRE, J-BOXES, HANGERS, ETC., EXCEPT MAINTAIN CIRCUITS WHICH ARE REQUIRED FOR TEMPORARY LIGHTING DURING CONSTRUCTION.

4. REMOVE & DISPOSE OF ALL UNUSED POWER CIRCUITS, BOTH CONDUIT AND WIRE, J-BOXES, HANGERS, ETC.

5. REMOVE AND DISPOSE OF ALL FLOOR BOXES IF ANY, AND PROVIDE FLUSH APPROVED COVERS AT EACH ACCESS HOLE.

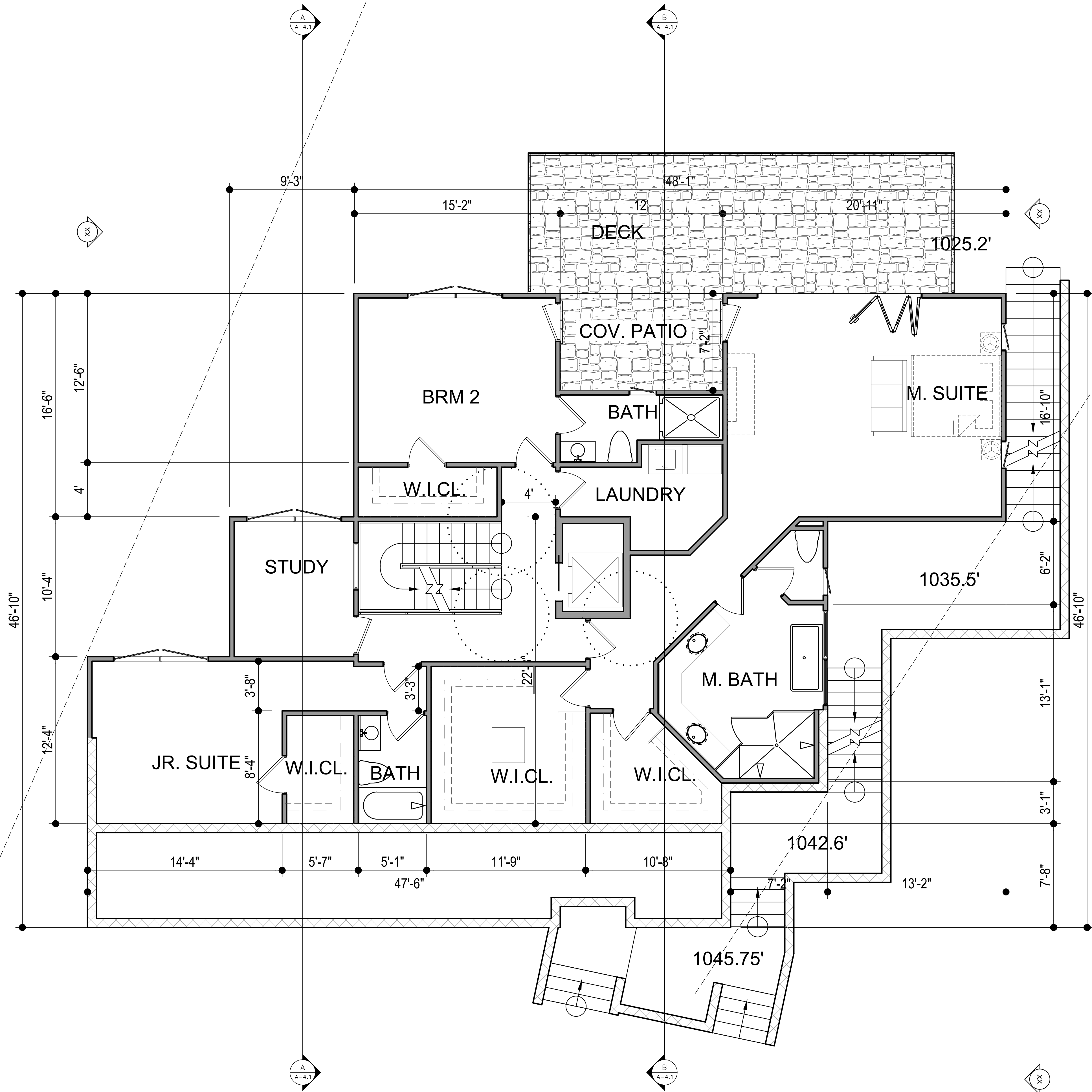
MECHANICAL DEMO NOTES:

1. REMOVE AND DISPOSE OF ALL UNUSED HVAC EQUIPMENT AND DUCTWORK.

2. REMOVE ALL PLUMBING FIXTURES, PIPES, DRAINS, ETC., WHICH ARE NOT SHOWN TO BE REUSED. CAP LINES BELOW GRADE OR ABOVE CEILINGS.

FLOOR PLAN NOTES

1. HARD WIRED SMOKE DETECTOR OR CARBON MONOXIDE ALARM W/ BATTERY BACK-UP
2. LOW CONSUMPTION WATER CLOSET. 1.28 GALLONS MAXIMUM FLUSH
3. BATHROOM EXHAUST FAN TO BE ENERGY STAR COMPLIANT, 50 CFM HUMIDITYSTAT CONTROLLED
4. TEMPERED OPAQUE SHATTERPROOF GLASS ENCLOSURE W/ TOWEL BAR
5. BATHROOM SINK TBD
6. COUNTERTOP TBD
7. TUB TBD
8. LINEN CABINET W/ SHELVING
9. POLE AND SHELF
10. GRANITE COUNTERTOP TBD
11. KITCHEN SKIN TBD
12. COUNTERTOP TBD



FE 1036 -1854 SF

48

PROPOSED SECOND FLOOR PLAN

1/4"=1'-0" 1

H:\pobox (DIZITTI)\ARCH\1639-SINGH\1639-SINGH-MSTR-2-A.dwg, 11/19/2020 11:33:05 AM



DIZITTI
ARCHITECTS

21243 Ventura Blvd. # 115
Woodland Hills, CA 91364
T (818) 710-7482
F (818) 745-5329
fdzt@dizittiarchitects.com
www.dizittiarchitects.com

NEW 3-STORY RESIDENCE
for: **Mr & Mrs KAMAL SINGH**
4924 LLANO DRIVE
WOODLAND HILLS, CA 91364
CONTACT: KAMAL SINGH 818 635. 6934

4.
3.
2.
1.

REVISIONS

CAD FILE: 1639-SINGH-MSTR1

SCALE:

DRAWN BY: F.D.Z.

DATE: JUNE 28, 2019

PHASE:
CONSTR. DOCS.

SHEET TITLE:

LOWER LEVEL FLOOR PLAN

DRAWING NUMBER

A-2.3

JOB #: 1639-SINGH

WALL LEGEND

- EXISTING WALLS TO REMAIN
- EXIST. WALLS, FIXTURES & EQUIPMENT TO BE REMOVED. VERIFY EXTENTS ON PLAN.
- NEW WALLS: 2x4 STUDS U.N.O. @ 16" oc WITH 5/8" G.W.B. EACH SIDE
- 1-HR. FIRE RESISTING PARTITION: 2x4 STUDS MIN. @ 16" O.C. W/ 5/8" TYPE 'X' G.W.B. EA. SIDE. IF WALL IS EXISTING, VERIFY CONDITION.
- NEW OR EXIST. C.M.U. WALL. THICKNESS PER PLAN

NOTES:

ALL DIMENSIONS ARE BASED ON THEIR RELATIONSHIP TO EXISTING CONSTRUCTION. CAREFULLY LAY OUT WORK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING. IF ANY DISCREPANCIES ARE FOUND, NOTIFY THE ARCHITECT IMMEDIATELY BEFORE CONTINUING WITH THE LAYOUT.

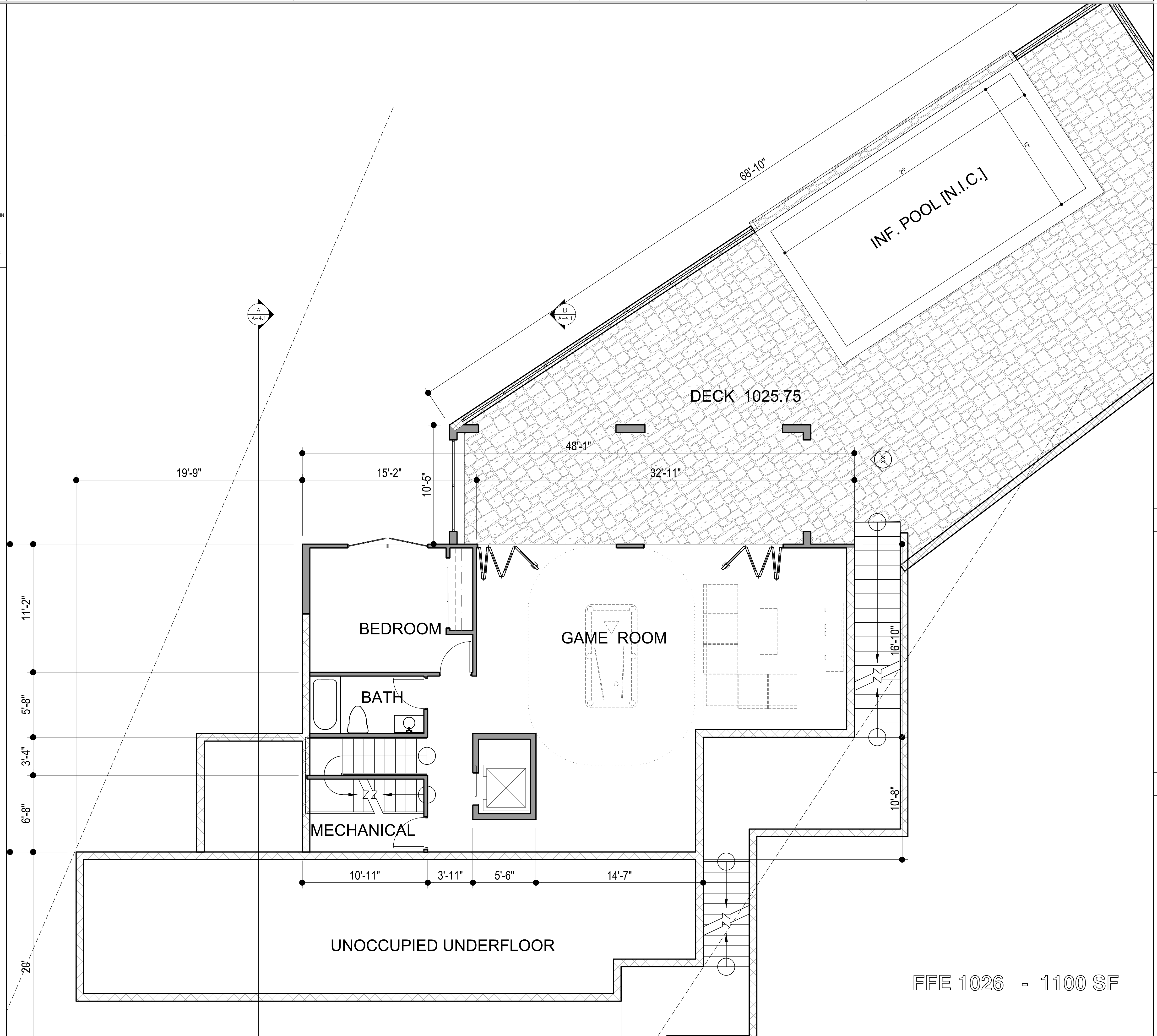
DEMO NOTES:
DEMOLITION SHOWN IS FOR GENERAL REFERENCE ONLY. PERFORM ALL DEMOLITION AS REQUIRED TO ACCOMMODATE THE NEW WORK AND PATCH BACK AS REQUIRED. ALL EXISTING CONSTRUCTION TO REMAIN. REMOVE ALL UNUSED ROOFTOP EQUIPMENT, CURBS, ETC.

SAWCUTTING:
THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAWCUTTING, TRENCHING, RECOMPACTION AND PATCH BACK THE CONC. SLAB AND FOOTINGS FOR ALL UNDERGROUND PLUMBING AND ELECTRICAL WORK AND FOOTINGS. VERIFY EXTENTS.

ASBESTOS ABATEMENT:
THE OWNER SHALL PROVIDE ALL REQUIRED ASBESTOS ABATEMENTS UNDER A SEPARATE CONTRACT.

ELECTRICAL DEMO NOTES:
1. CAUTION !!! THIS BUILDING IS ENERGIZED. GENERAL CONTRACTOR IS TO PROVIDE A QUALIFIED ELECTRICIAN TO ENSURE ALL CIRCUITS ARE DE-ENERGIZED BEFORE ALLOWING ANY DEMOLITION.
2. PROTECT EXISTING PANELS AND DISTRIBUTION EQUIPMENT TO REMAIN. REMOVE AND DISPOSE OF PANEL AND EQUIPMENT SHOWN AND NOTIFY ELECTRICAL ENGINEER OR THE ARCHITECT OF ANY FLUCTS.
3. REMOVE AND DISPOSE OF ALL UNUSED LIGHTING CIRCUITS, BOTH CONDUIT & WIRE, J-BOXES, HANGERS, ETC., EXCEPT MAINTAIN CIRCUITS WHICH ARE REQUIRED FOR TEMPORARY LIGHTING DURING CONSTRUCTION.
4. REMOVE & DISPOSE OF ALL UNUSED POWER CIRCUITS, BOTH CONDUIT AND WIRE, J-BOXES, HANGERS, ETC.
5. REMOVE AND DISPOSE OF ALL FLOOR BOXES IF ANY, AND PROVIDE FLUSH APPROVED COVERS AT EACH ACCESS HOLE.

MECHANICAL DEMO NOTES:
1. REMOVE AND DISPOSE OF ALL UNUSED HVAC EQUIPMENT AND DUCTWORK.
2. REMOVE ALL PLUMBING FIXTURES, PIPES, DRAINS, ETC., WHICH ARE NOT SHOWN TO BE REUSED. CAP LINES BELOW GRADE OR ABOVE CEILINGS.



PROPOSED LOWER FLOOR PLAN

FFE 1026 - 1100 SF

1/4" = 1'-0" 1

H:\Dtopbox (DIZITTI) ARCH\DWG\639\1639-SINGH-MSTR-2-A.dwg, 11/19/2020 11:33:07 AM

ELEVATIONS / SECTIONS NOTES ①

- EXTERIOR STUCCO OVER METAL LATH AND 15 LBS. MIN. FELT PAPER COLOR AND TEXTURE TO BE SELECTED BY OWNER.
- VINYL WINDOWS (SEE PLAN) DUAL PANE GLASS THROUGHOUT.
- VINYL PATIO DOORS AND SIDELIGHTS (SEE PLAN) DUAL PANE GLASS THROUGHOUT.
- CLASS 'A' FIRE RETARDANT 20 YR. MIN. 3-PLY MODIFIED BITUMEN ROOF COVERING
- W.I RAILING 42" HIGH MIN.
- DECK
- RETAINING WALL
- R-30 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP.
- R-13 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP.
- R-19 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP.
- 2x CEILING JOIST PER ENGINEER
- 2x ROOF RAFTER PER ENGINEER
- DOUBLE PLATE
- 2x SILL PLATE
- INTERNAL FINISHES
- 6x TIMBER EXPOSED MEMBERS MIN. AT V.H.F.S.Z.
- 2x FOUNDATION SILL PLATE
- DEX-O-TEX ELASTOMERIC DECKING MATERIAL ICC-ESR 1757
- 150 GAL. RAIN BARRELS



(S) [SOUTH] FRONT ELEVATION

1/4"=1'-0" ②

47'-4"



[NORTH] REAR ELEVATION

1/4"=1'-0" ①



DIZITTI
ARCHITECTS

21243 Ventura Blvd. # 115
Woodland Hills, CA 91364
T (818) 710 -7482
F (818) 745 -5329
fdzt@dizittiarchitects.com
www.dizittiarchitects.com

NEW 3-STORY RESIDENCE
for: **Mr & Mrs KAMAL SINGH**
4924 LLANO DRIVE
WOODLAND HILLS, CA 91364
CONTACT: KAMAL SINGH 818 635 6934

4
3
2
1

REVISIONS

CAD FILE: 1639-SINGH-MSTR1

SCALE:

DRAWN BY: F.D.Z.

DATE: JUNE 28, 2019

PHASE:
CONSTR. DOCS.

SHEET TITLE:

EXTERIOR ELEVATIONS

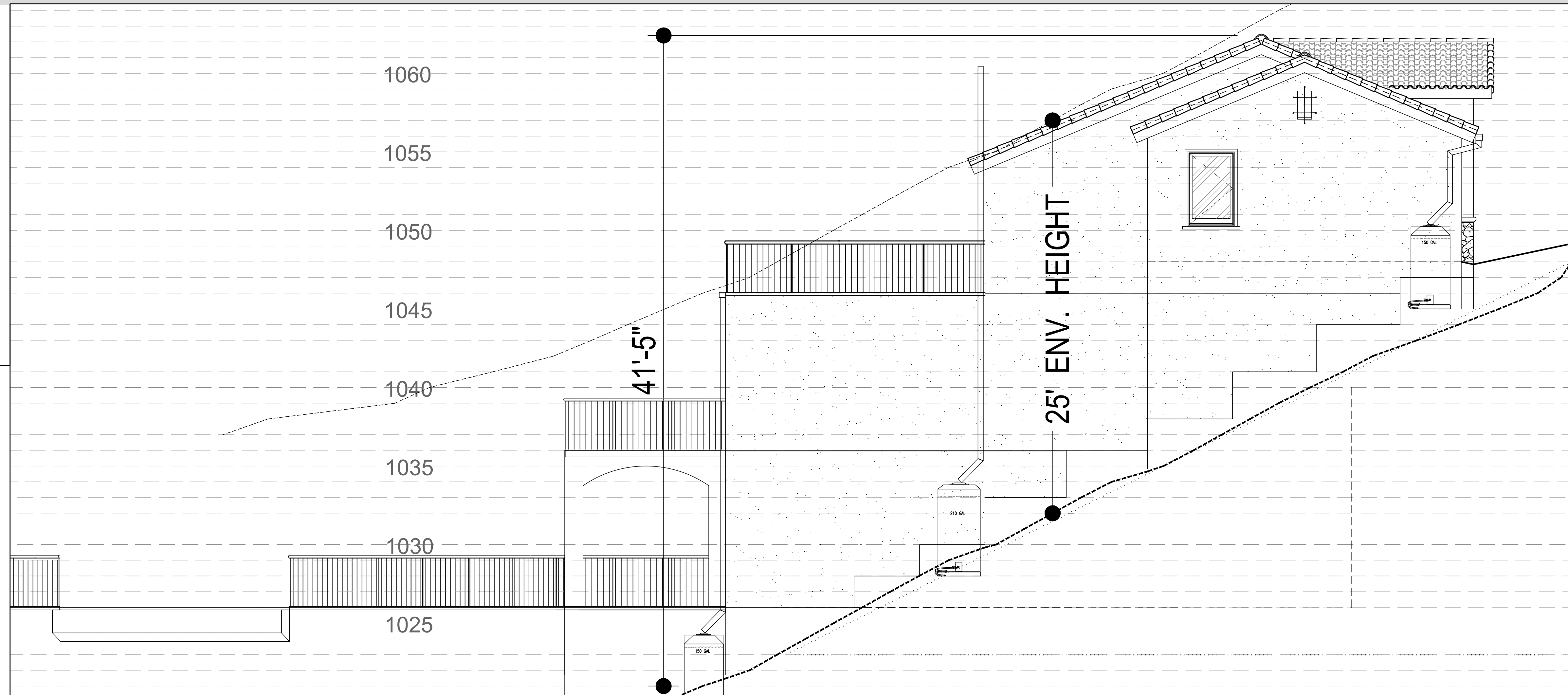
DRAWING NUMBER

A-3.1

JOB #: 1639-SINGH

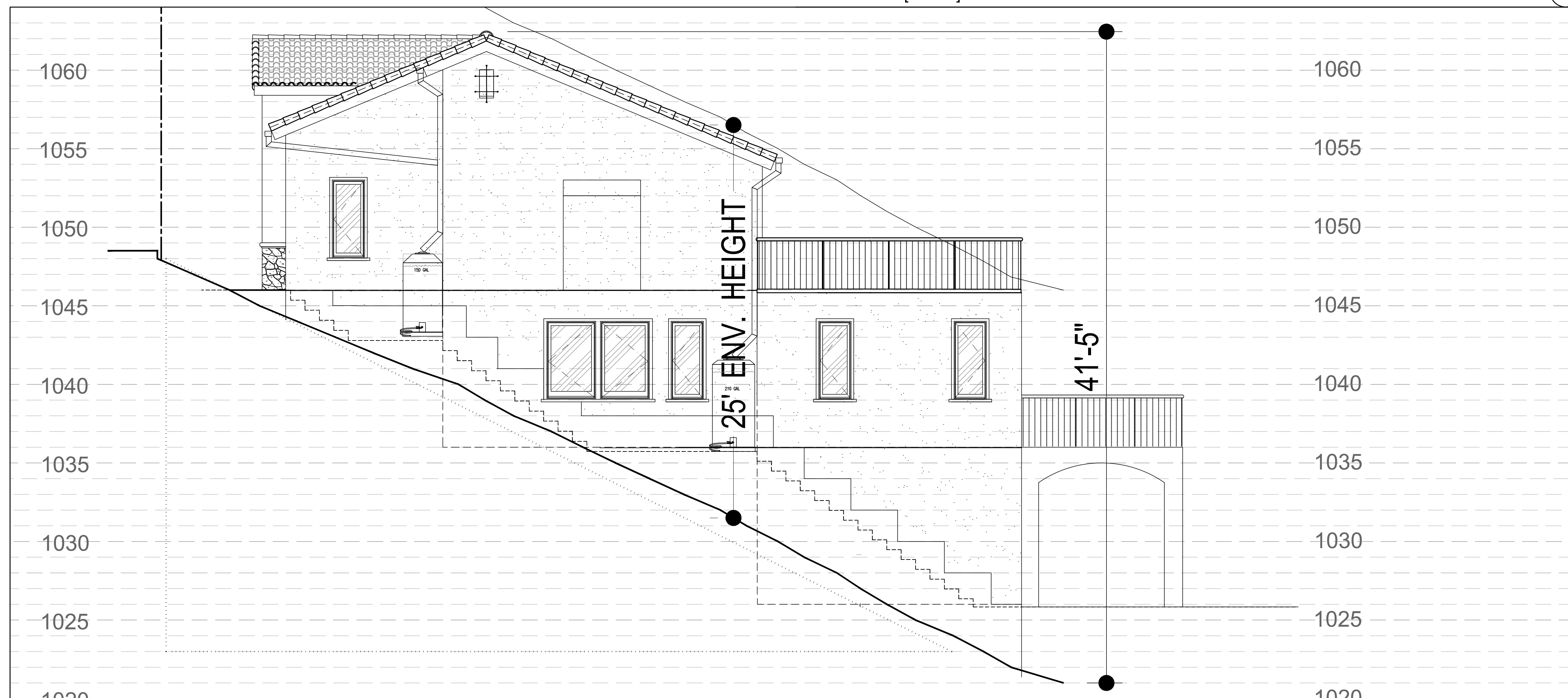
ELEVATIONS / SECTIONS NOTES

1. EXTERIOR STUCCO OVER METAL LATH AND 15 LBS. MIN. FELT PAPER
COLOR AND TEXTURE TO BE SELECTED BY OWNER.
2. VINYL WINDOWS (SEE PLAN) DUAL PANE GLASS THROUGHOUT.
3. VINYL PATIO DOORS AND SIDELIGHTS (SEE PLAN) DUAL PANE GLASS THROUGHOUT.
4. CLASS 'A' FIRE RETARDANT 20 YR. MIN. 3-PLY MODIFIED BITUMEN ROOF COVERING
5. W.I RAILING 42" HIGH MIN.
6. DECK
7. RETAINING WALL
8. R-30 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP.
9. R-13 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP.
10. R-19 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP.
11. 2x CEILING JOIST PER ENGINEER
12. 2x ROOF RAFTER PER ENGINEER
13. 2x DOUBLE PLATE
14. 2x SILL PLATE
15. INTERNAL FINISHES
16. 6x TIMBER EXPOSED MEMBERS MIN. AT V.H.F.S.Z.
17. 2x FOUNDATION SILL PLATE
18. DEX-O-TEX ELASTOMERIC DECKING MATERIAL ICC-ESR 1757
19. 150 GAL. RAIN BARRELS



[WEST] SIDE ELEVATION

1/4"=1'-0" 2



[EAST] SIDE ELEVATION

1/4"=1'-0" 1



DIZITTI
ARCHITECTS

21243 Ventura Blvd. # 115
Woodland Hills, CA 91364
T (818) 710-7482
F (818) 745-5329
fdzt@dizittiarchitects.com
www.dizittiarchitects.com

NEW 3-STORY RESIDENCE
for: **Mr & Mrs KAMAL SINGH**
4924 LLANO DRIVE
WOODLAND HILLS, CA 91364
CONTACT: KAMAL SINGH 818 635 6934

4.
3.
2.
1.

REVISIONS

CAD FILE: 1639-SINGH-MSTR1

SCALE:

DRAWN BY: F.D.Z.

DATE: JUNE 28, 2019

PHASE:

CONSTR. DOCS.

SHEET TITLE:

EXTERIOR ELEVATIONS

DRAWING NUMBER

A-3.2

JOB #: 1639-SINGH

ELEVATIONS / SECTIONS NOTES ①

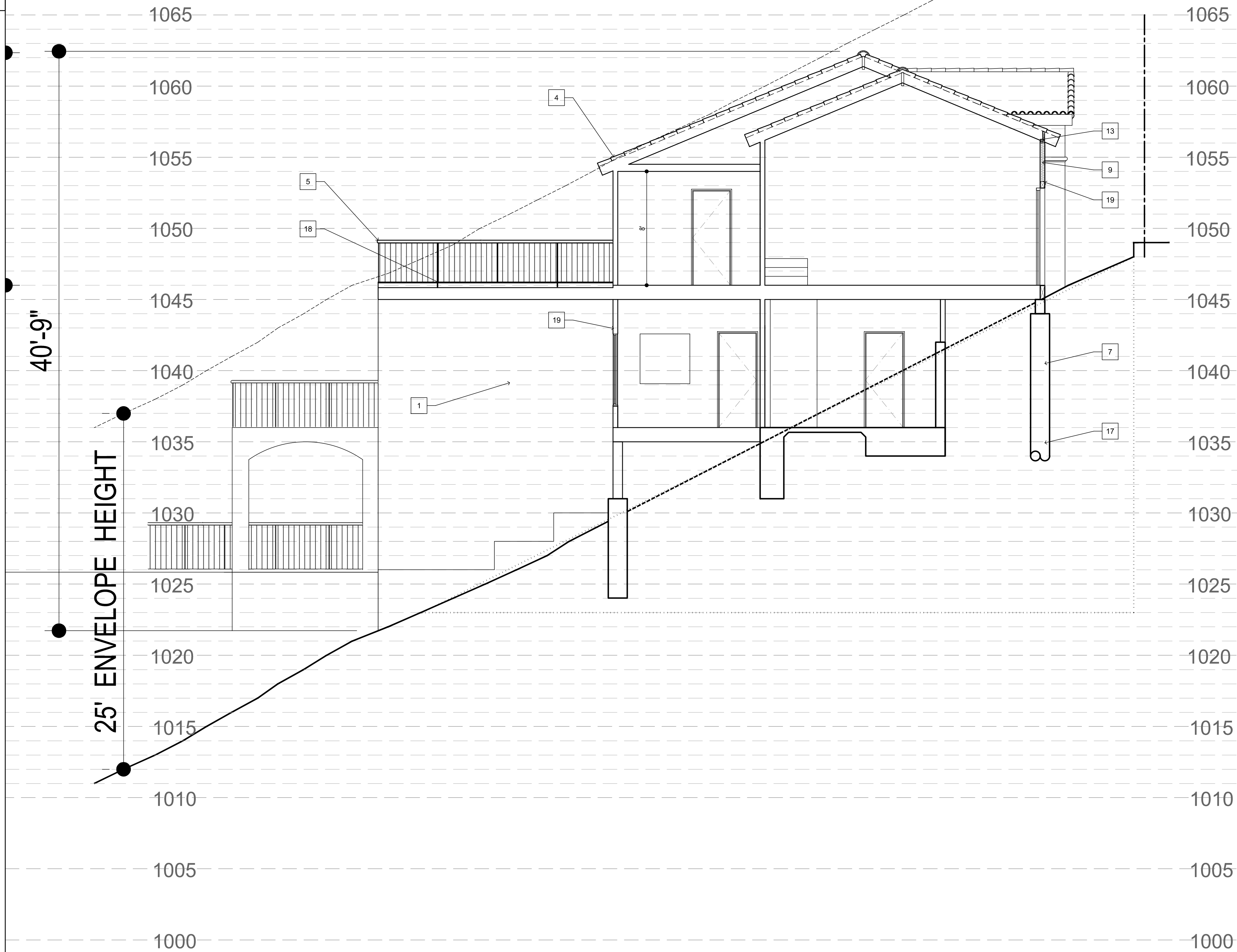
1. EXTERIOR STUCCO OVER METAL LATH AND 1/2" MIN. FELT PAPER COLOR AND TEXTURE TO BE SELECTED BY OWNER.
2. VINYL WINDOWS (SEE PLAN) DUAL PANE GLASS THROUGHOUT.
3. VINYL PATIO DOORS AND SIDELIGHTS (SEE PLAN) DUAL PANE GLASS THROUGHOUT.
4. CLASS 'A' FIRE RETARDANT 20 YR. MIN. 3-PLY MODIFIED BITUMEN ROOF COVERING
5. W.I. RAILING 42" HIGH MIN.
6. DECK
7. RETAINING WALL
8. R-30 FIBER MINERAL BATT. INSULATION AT ALL NEW CEILING.
9. R-13 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP.
10. R-19 FIBER MINERAL BATT. INSULATION AT ALL NEW RAISED FLOOR.
11. 2x CEILING JOIST PER ENGINEER
12. 2x ROOF RAFTER PER ENGINEER
13. 2x DOUBLE PLATE
14. 2x SILL PLATE
15. INTERNAL FINISHES
16. 6x TIMBER EXPOSED MEMBERS MIN. AT V.H.F.S.Z.
17. CONCRETE FOOTING
18. DEX-O-TEX ELASTOMERIC DECKING MATERIAL ICC-ESR 1757
19. HEADER BY ENG.



DIZITI
ARCHITECTS

21243 Ventura Blvd. # 115
Woodland Hills, CA 91364
T (818) 710-7482
F (818) 745-5329
fdzt@dizitiarchitects.com
www.dizitiarchitects.com

NEW 3-STORY RESIDENCE
for: Mr & Mrs KAMAL SINGH
4924 LLANO DRIVE
WOODLAND HILLS, CA 91364
CONTACT: KAMAL SINGH 818 635 6934



SECTION A

1/4" = 1'-0" ①

4.	
3.	
2.	
1.	

REVISIONS

CAD FILE: 1639-SINGH-MSTR1
SCALE:
DRAWN BY: F.D.Z.
DATE: JUNE 28, 2019
PHASE:
CONSTR. DOCS.
SHEET TITLE:

SECTIONS

DRAWING NUMBER

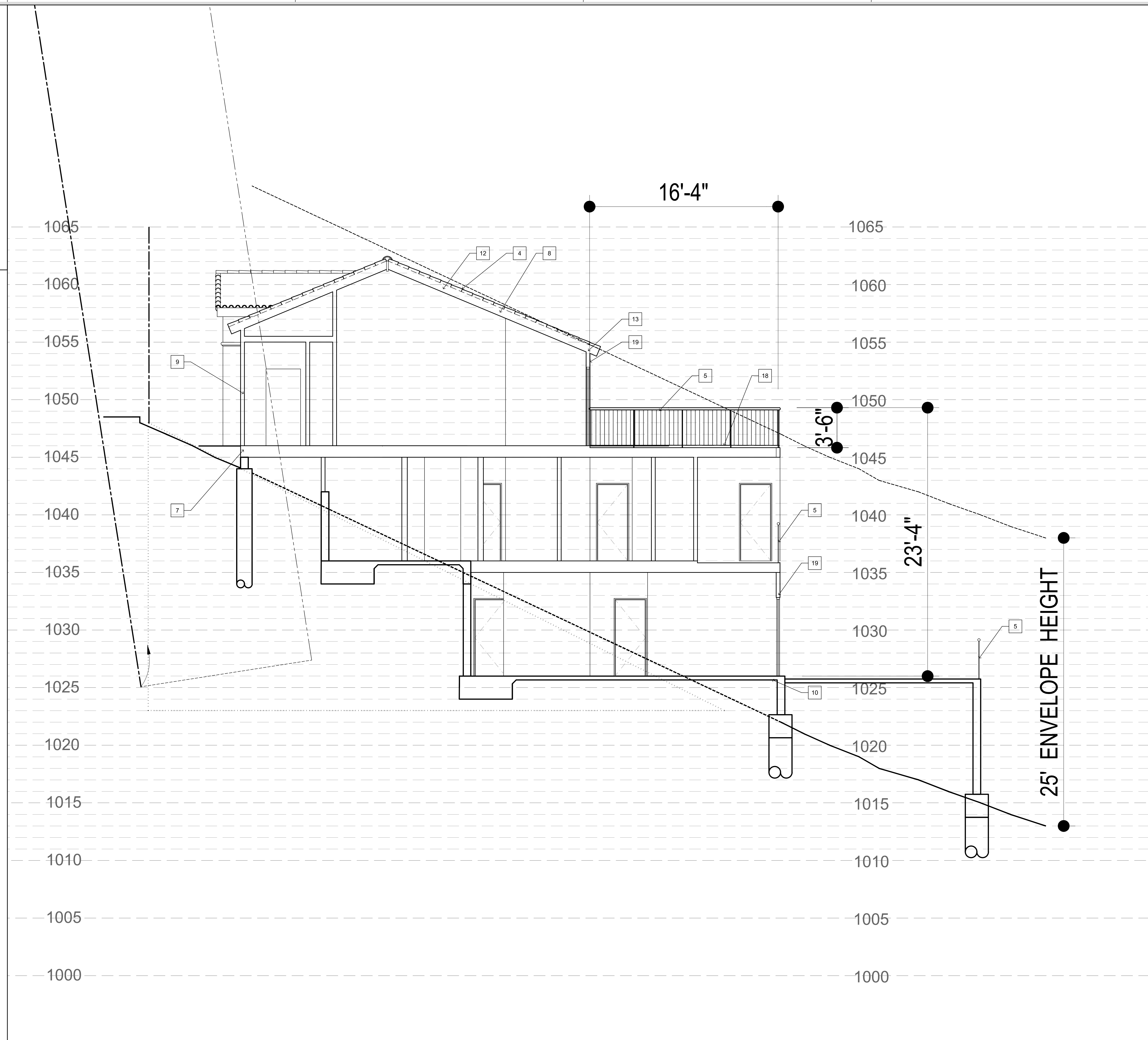
A-4.1

JOB #: 1639-SINGH

H:\Desktop (DIZITI)\ARCHITECTURE\1639-SINGH\MSTR-A.dwg, 11/19/2020 11:33:14 AM

ELEVATIONS / SECTIONS NOTES ①

- EXTERIOR STUCCO OVER METAL LATH AND 15 LBS. MIN. FELT PAPER COLOR AND TEXTURE TO BE SELECTED BY OWNER.
- VINYL WINDOWS (SEE PLAN) DUAL PANE GLASS THROUGHOUT.
- VINYL PATIO DOORS AND SIDELIGHTS (SEE PLAN) DUAL PANE GLASS THROUGHOUT.
- CLASS 'A' FIRE RETARDANT 20 YR. MIN. 3-PLY MODIFIED BITUMEN ROOF COVERING
- W.I. RAILING 42" HIGH MIN.
- DECK
- RETAINING WALL
- R-30 FIBER MINERAL BATT. INSULATION AT ALL NEW CEILING.
- R-13 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP.
- R-19 FIBER MINERAL BATT. INSULATION AT ALL NEW RAISED FLOOR.
- 2x CEILING JOIST PER ENGINEER
- 2x ROOF RAFTER PER ENGINEER
- 2x DOUBLE PLATE
- 2x SILL PLATE
- INTERNAL FINISHES
- 6x TIMBER EXPOSED MEMBERS MIN. AT V.H.F.S.Z.
- CONCRETE FOOTING
- DEX-O-TEX ELASTOMERIC DECKING MATERIAL ICC-ESR 1757
- HEADER BY ENG.



SECTION B

1/4"=1'-0" ②



DIZITTI
ARCHITECTS

21243 Ventura Blvd. # 115
 Woodland Hills, CA 91364
 T (818) 710 -7482
 F (818) 745 -5329
 fdzt@dizittiarchitects.com
 www.dizittiarchitects.com

NEW 3-STORY RESIDENCE
for: Mr & Mrs KAMAL SINGH
 4924 LLANO DRIVE
 WOODLAND HILLS, CA 91364
 CONTACT: KAMAL SINGH 818 635. 6934

4.
3.
2.
1.

REVISIONS

CAD FILE: 1639-SINGH-MSTR1

SCALE:

DRAWN BY: F.D.Z.

DATE: JUNE 28, 2019

PHASE:
CONSTR. DOCS.

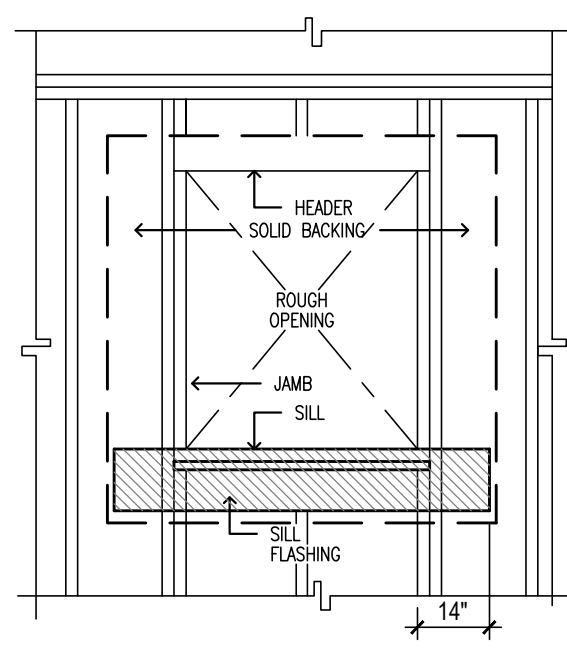
SHEET TITLE:

SECTIONS

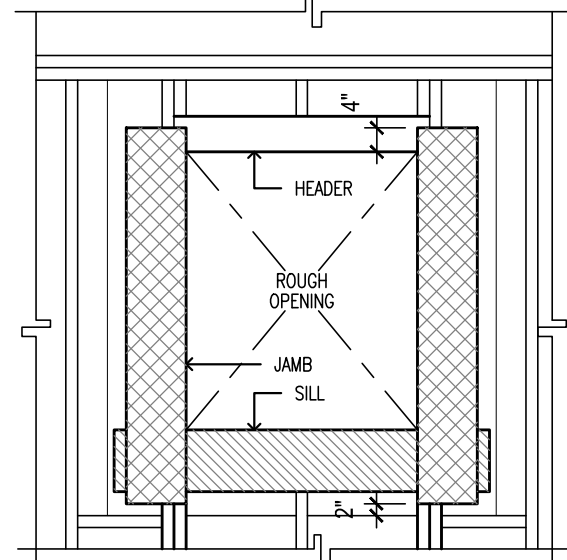
DRAWING NUMBER

A-4.2

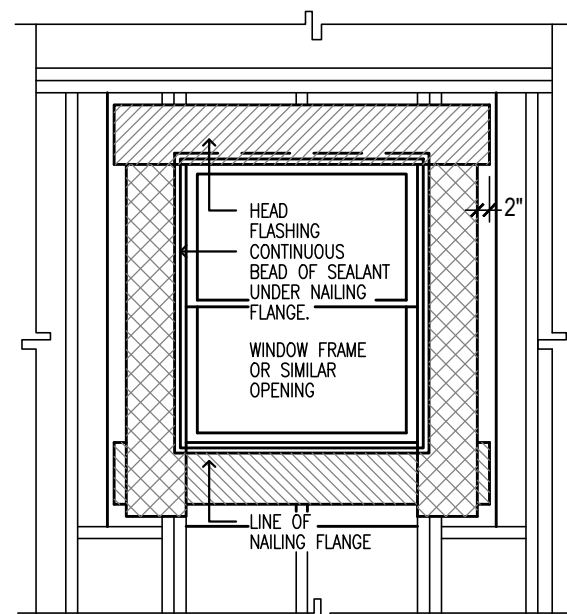
JOB #: 1639-SINGH



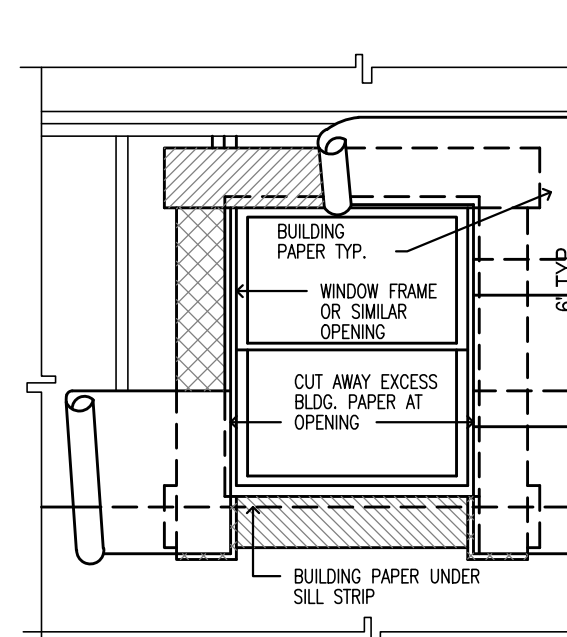
- STEP 1:**
- PROVIDE SOLID BACKING AT ALL AREAS WHERE FLASHING MATERIAL LAPPING WILL OCCUR.
 - ATTACH SILL STRIP OF 12" WIDE MOSTOP FLASHING MATERIAL WITH THE TOP EDGE EVEN WITH THE TOP OF THE ROUGH SILL.
 - EXTEND THIS STRIP AT LEAST 14" BEYOND THE EDGE OF THE ROUGH OPENING.
 - ATTACH FLASHING MATERIAL WITH GALVANIZED ROOFING NAILS OR CORROSION-RESISTANT STAPLES.



- STEP 2:**
- ATTACH JAMB STRIPS OF 12" WIDE MOSTOP FLASHING MATERIAL WITH INSIDE EDGE EVEN WITH THE JAMB OF THE ROUGH OPENING.
 - START JAMB STRIPS 2" BELOW SILL STRIP AND EXTEND 4" ABOVE LOWER EDGE OF HEADER.



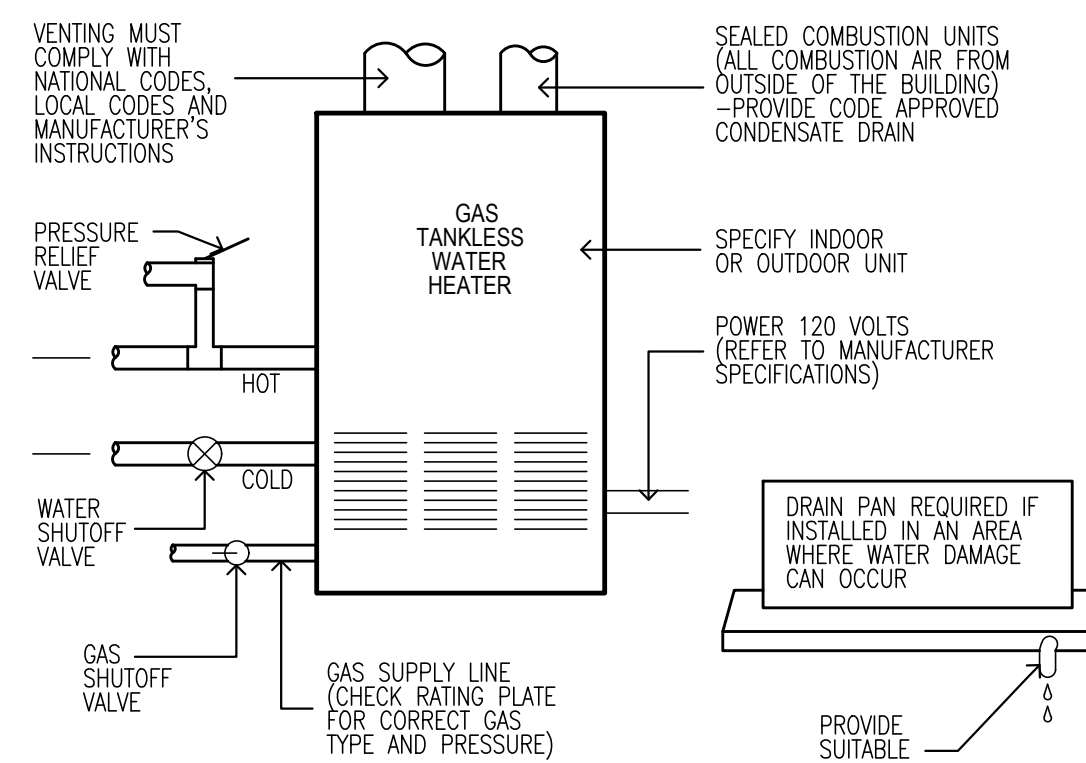
- STEP 3:**
- APPLY A CONTINUOUS BEAD OF SEALANT TO THE BACK OF THE FRAME MAKING FLANGE.
 - PLACE AND SECURE FRAME INTO ROUGH OPENING WITH FLANGES OVER THE INSTALLED JAMB AND SILL MOSTOP FLASHING MATERIAL.
 - APPLY A CONTINUOUS BEAD OF SEALANT TO THE FRONT FACE OF THE HEAD MAKING FLANGE.
 - ATTACH 12" WIDE MOSTOP FLASHING MATERIAL OVER THE HEAD FLANGE. EXTEND THIS STRIP 2" BEYOND THE OUTER EDGE OF THE JAMB FLASHING MATERIAL.



- STEP 4:**
- STARTING FROM THE BASE OF THE WALL APPLY BUILDING PAPER UNDER THE SILL STRIP AND CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL AND BETWEEN THE JAMBS OF THE OPENING.
 - APPLY THE NEXT COURSE OF BUILDING PAPER (BUTTING TO THE FRAME OPENING) OVER THE JAMB FLASHING MATERIAL.
 - APPLY SUCCEEDING LAYERS OF BUILDING PAPER IN SHINGLE BOARD FASHION UP THE WALL, LAPPING COURSES A MINIMUM OF 6".

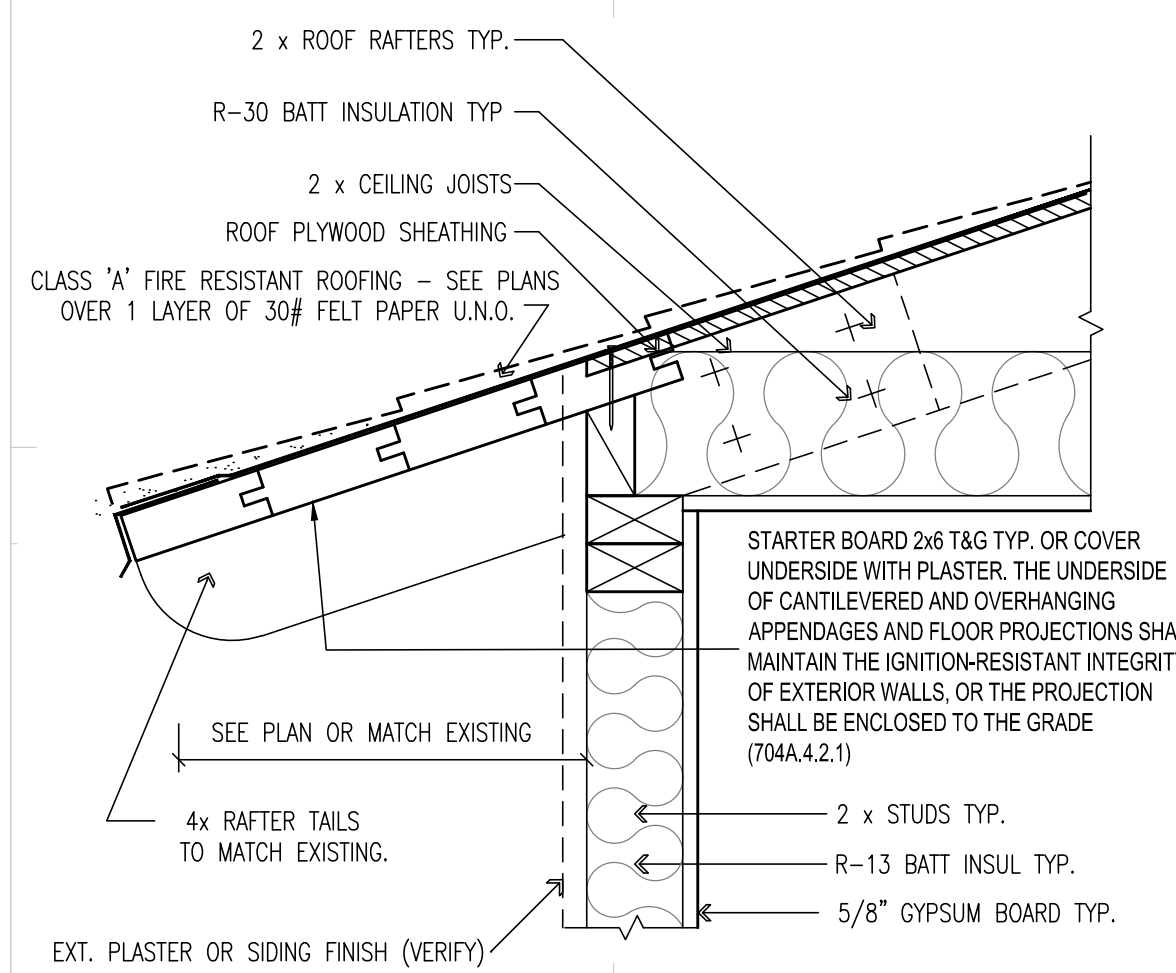
- NOTES:**
- SECTION CBC 1405.4 STATES "EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN A MANNER AS TO MAKE THEM WEATHERPROOF". THE PROCEDURE ABOVE IS RECOMMENDED TO ACHIEVE THIS INTENT FOR THE FLASHING OF WALL OPENINGS TO INCLUDE BUT NOT LIMITED TO WINDOWS, DOORS, VENTS, ETC.
 - ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. SUCH BARRIER SHALL BE EQUAL TO THAT PROVIDED FOR IN IBC STANDARD 14-1 FOR KRAFT WATERPROOF BUILDING PAPER OR ASPHALT SATURATED FIBER FELT APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED 2 INCHES OVER THE LOWER LAYER, AND LAPPED 6 INCHES AT ALL VERTICAL JOINTS. (SEE SECTION 1402.1)
 - APPLICATION OF FINISH MATERIALS OVER FLASHING MATERIALS SHOWN SHALL BE AS SPECIFIED BY CODE REQUIREMENTS, MANUFACTURER'S INSTRUCTIONS AND THE BEST PRACTICES OF THE TRADE.
 - ADDITIONAL MATERIALS, i.e. METAL HEAD FLASHING, ELASTOMERIC SHEET WATERPROOFING ETC. MAY OCCUR, DEPENDING ON THE SPECIFIC FINISH MATERIALS BEING USED. REFER TO INDIVIDUAL DETAILS FOR ADDITIONAL INFORMATION.

FLASHING AT OPENINGS 3/8"=1'-0" 07WP-WINFLASHING1 **18**

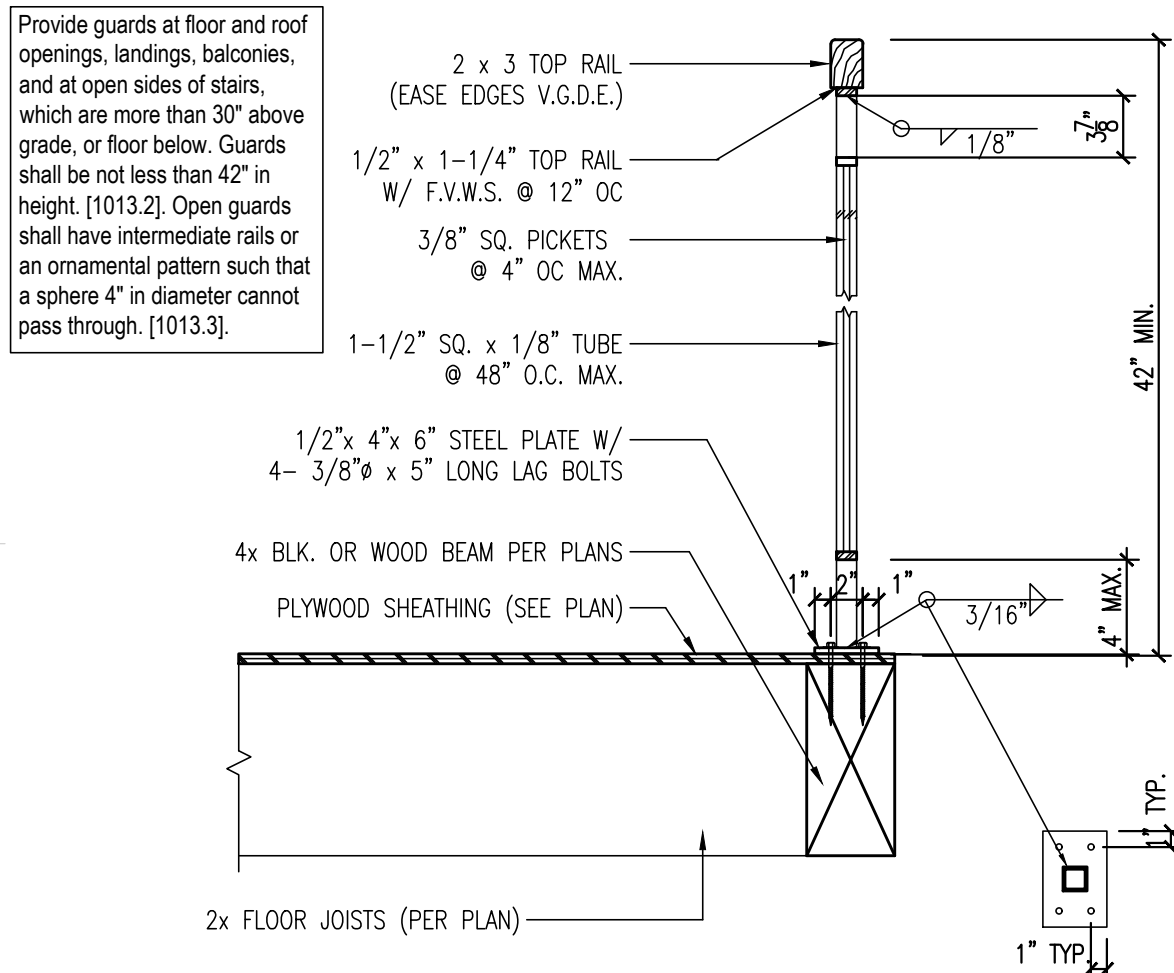


- NOTES:**
- WATER HEATER MUST BE INSTALLED TO CONFORM WITH CURRENT NATIONAL ELECTRIC CODE, NATIONAL FUEL GAS CODE, AND ANY APPLICABLE LOCAL PLUMBING, ELECTRICAL, HEATING AND AIR CONDITIONING CODES, AND MANUFACTURER INSTALLATION INSTRUCTIONS
 - PROTECT HEATER FROM FREEZING
 - SPECIFY NATURAL GAS OR PROPANE

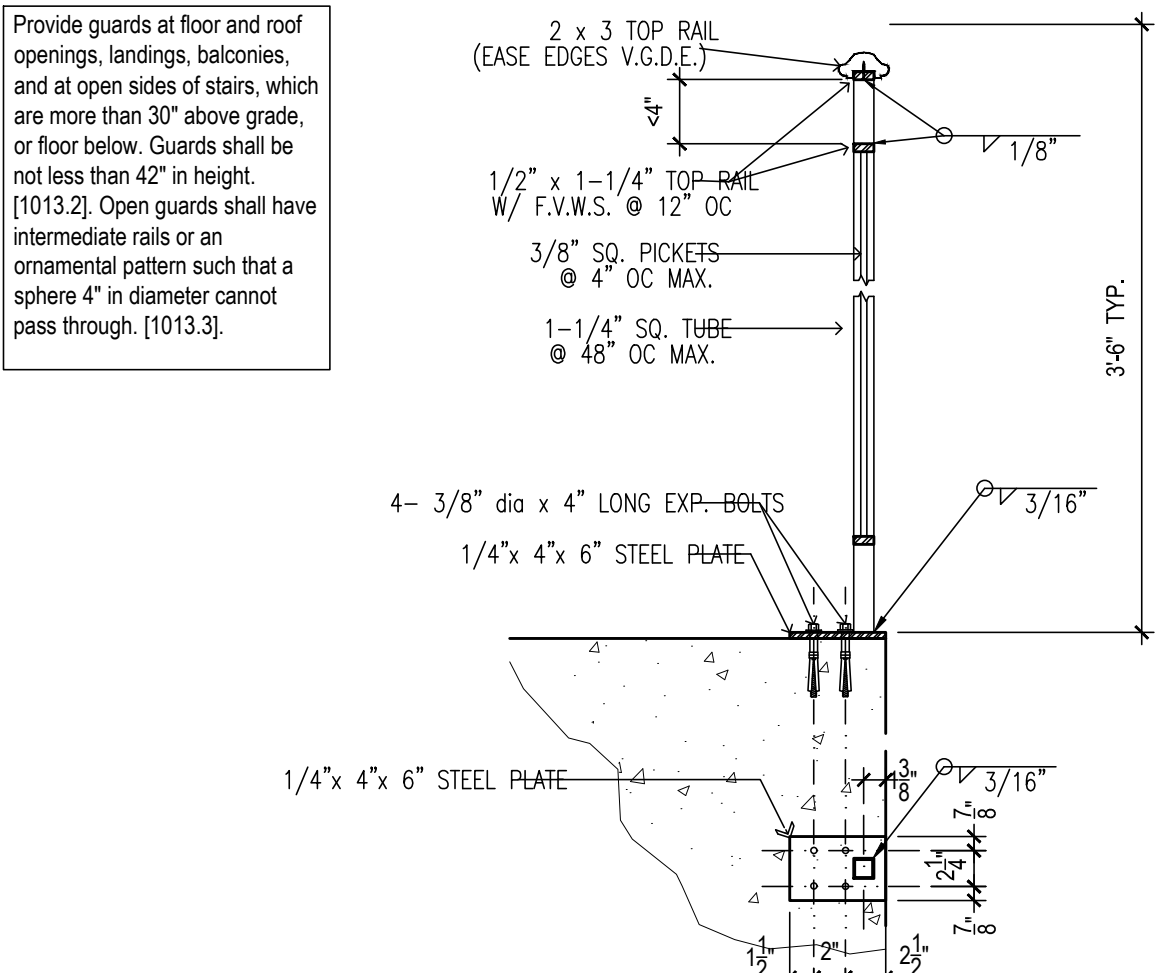
GAS TANKLESS WATER HEATER 1/2"=1'-0" 09PL-WH-TLESS-GAS **17**



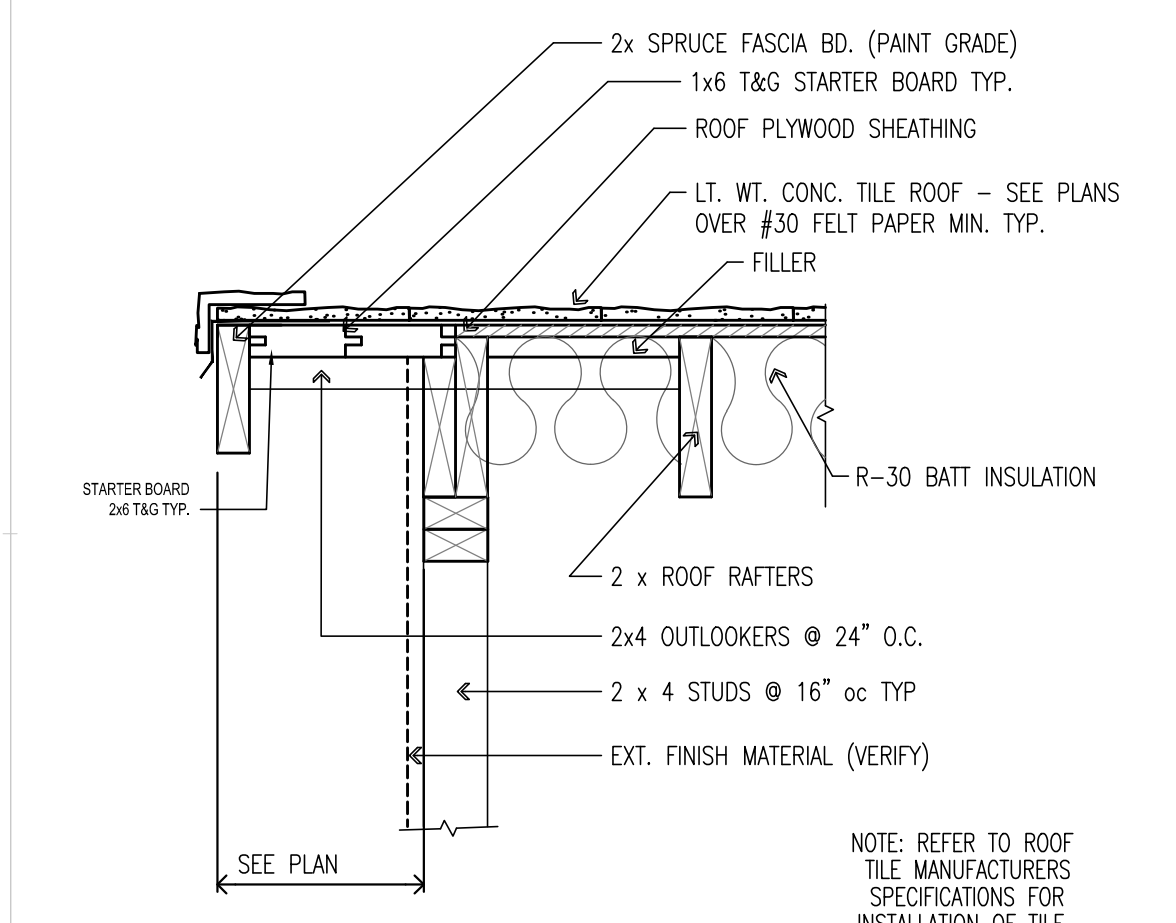
EAVE @ VHFHZ DETAIL 1 1/2"=1'-0" 07RF-LTWTEAVE_VHFHZ **16**



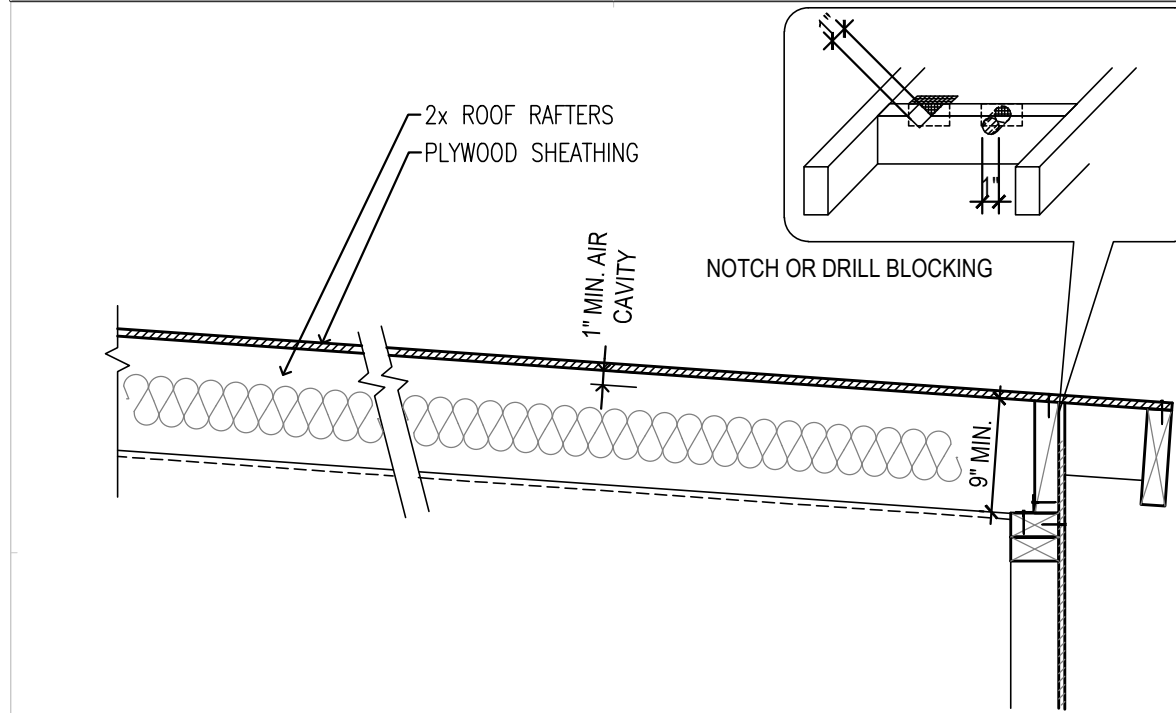
TYP. W.I. RAILING DETAIL 1"=1'-0" 09WI-RAIL3-WDBALC **12**



TYP. W.I. RAILING DETAIL 1/12"=1'-0" 09WI-RAIL6-CONCDECK **8**

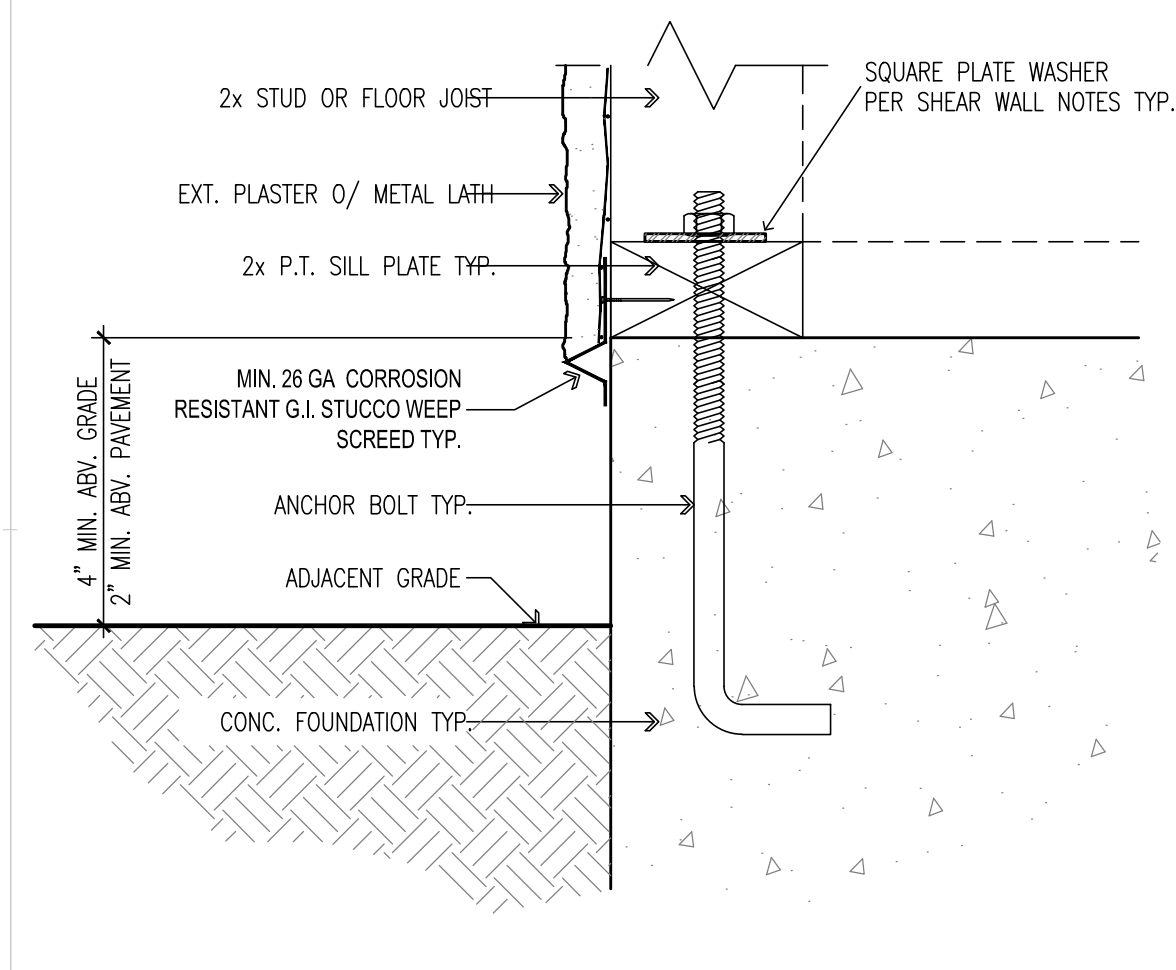


GABLE RAKE @ VHFHZ 1"=1'-0" 07RF-LTWTRAKEVHFHZ **15**



- NOTES:**
1. THE BATT MUST FILL THE CAVITY AND NOT CREATE ANY AIR POCKETS OR VOIDS WITHIN THE CAVITY OR BETWEEN THE BATT AND THE CONDITIONED SPACE.
 2. THE BATT MAY NOT BE COMPRESSED.
 3. MAINTAIN A CONSTANT 1" VENT. SPACE BETWEEN THE BATT AND BOTTOM OF PLYWOOD.
 4. DO NOT 'SISTER' [E] RAFTERS [IT CREATES AIR POCKETS]

TYP. EAVE FRAMING 3/4"=1'-0" 07RF-CATHVENT08 **14**



PLASTER WEEP SCREED 3"=1'-0" 07FH-SCRD **13**



21243 Ventura Blvd. # 115
Woodland Hills, CA 91364
T (818) 710-7482
F (818) 745-5329
fdzt@dizitiarchitects.com
www.dizitiarchitects.com

NEW 3-STORY RESIDENCE
for: **Mr & Mrs KAMAL SINGH**
4924 LLANO DRIVE
WOODLAND HILLS, CA 91364
CONTACT: KAMAL SINGH 818 635. 6934

4.
3.
2.
1.
-
REVISIONS

CAD FILE: 1639-SINGH-MSTR1
SCALE:
DRAWN BY: F.D.Z.
DATE: JUNE 28, 2019
PHASE: CONSTR. DOCS.
SHEET TITLE:
DETAILS
DRAWING NUMBER

A-5
JOB #: 1639-SINGH

