CONSTRU	CYCLING	TORS - DEMOLITION ORDINANCE		3 STORY INGLES EVALUATION STORY (2017 Los Angle) Storm Water Pollution Control Reg Minimum Water Quality Protection F
 SEPARATION MUST BE LAW WITH THE C&D WASTE RECY THE KEY ELEMENTS OF THE ARE AS FOLLOWS: All non-source separated C& amount) can only be taken to C&D waste can only be legal City Permitted Solid Waste Ha If you collect, remove, or tryou must obtain a Solid W Sanitation. If you use independent waste C&D waste from City sites, th from the Bureau of Sanitat Waste Haulers. If you do not become the hauler and resp waste and potential penalties Bins used to collect, remove marked with the name and p Penalties of up to \$5,000 wil unlawful disposition of C&D taken to City Certified Process Further, collecting, removing City without a valid Solid misdemeanor subject to finese 	RECYCLING REC IN THE CITY. I. ION OF C&D RI FERENCE FOR REMENTS of TH AINING AFTER FULLY DELIVE CLING ORDINA C&D WASTE RE D waste generate o City Certified Pro ally collected, rem aulers. Tansport C&D was /aste Hauler Perr the haulers to collected, rem aulers. Tansport C&D was /aste Hauler Perr the hauler sto collected to ris authorized of use a City Perr consible for the o to use a City Perr ponsible for the o	Contract of the bin. Contract of the bin.	PUBLIC WORKS HOW TO TO COMPLY Contact the Bureau of Sanitation: By Phone @: (13) 485-2260 By E-Mail@: SRCRD@ lacity.org By Fax@: (213) 485-3671 For More Information visit "What's New" at: www.lacitysan.org	 The following notes shall be incorporated in the represents the minimum standards of good hous projects. Construction means constructing, clearing, Construction includes structure teardown (demoli original line and grade, hydraulic capacity, or or required to immediately protect public health are construction material or construction waste to st (Order No. 01-182, NPDES Permit No. CAS00400 1. Eroded sediments and pollutants shall be rescheet flow, swales, area drains, natural drains 2. Stockpiles of earth and other construction ransported from the site by wind or water. 3. Fuels, oils, solvents and other toxic material not contaminate the soil nor the surface wate protected from the weather. Spills must be not be washed into the drainage system. 4. Non-storm water runoff from equipment an on the project site. 5. Excess or waste concrete may not be washed shall be made to retain concrete waste onsisted from the stabilized so as street/public ways. Accidental depositions by rain or by any other means. 8. Retention basins of sufficient size shall be properly located to collect all tributary site. 9. Where retention of storm water runoff on site or structure is and maintained on-site during the construction site during the construction.
DEPARTMENT OF BUILDING AND SAFETY	2017 Los Angeles (Incorporate this below are taken from th 4.504.2, 4.504.3, 4.50 COURAL COATINGS ²⁸ Coating,	Green Building Code form into the plans) e 2017 Los Angeles Green Building 4.5, 5.504.4.1, 5.504.4.2, 5.504.4.3,	GRN 11	DEPARTMENT OF BUILDING AND SAFETY
COATING CATEGORY ²³⁸ Flat coatings Nonflat coatings Nonflat coatings Specialty Coatings Aluminum roof coatings Basement specialty coatings Bituminous roof coatings Bituminous roof oratings Bituminous roof primers Bond breakers Concrete curing compounds Concrete/masonry sealers Dry fog coatings Faux finishing coatings Fire resistive coatings Fire resistive coatings Fire resistive coatings Fire resistive coatings Form-release compounds Graphic arts coatings Industrial maintenance coatings Magnesite cement coatings Magnesite cement coatings Mastic texture coatings Multicolor coatings Pretreatment wash primers Primers, sealers Reactive penetrating sealers Reactive penetrating sealers Reactive penetrative coatings Rust preventative coatings Rust preventative coatings Shellacs Clear Opaque Specialty primers, sealers and undercoaters Stains Stone consolidants Swimming pool coatings Traffic marking coatings	CURRENT LIMIT 50 100 150 400 400 50 350 350 350 100 50 350 100 50 350 100 50 350 100 50 350 100 250 120 450 100 250 120 450 100 500 250 400 250 250 250 250 50 250 50 250 730 550 100 250 340 100 250 550 50	93120.12. ² This medium de is ity foerboard kas a maxin SE ALAN Less Water and Less Exemp SE ALANTS Architectural Marine deck Nonmembrane roof Roadway Single-ply roof membrane Other SE ALANT PRIMERS Architectural Nonporous Porous Modified bituminous 500 Marine deck Other Note: Foraddtbial kitomatbil regarding me tables, see Sorth Coast Air Quality Manageme	At Compounds in Grams per Liter CURRENT VOC LIMIT 250 760 3000 250 450 420 775 500 760 775 500 760 250 450 420 775 500 760 750 500 750 500 750 500 750 500 750 500 750 500 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 <t< th=""><th>Showerheads Lavatory faucets, residential Lavatory faucets, nonresidential Lavatory faucets, nonresidential Kitchen faucets Metering Faucets Gravity tank type water closets Flushometer tank water closets Flushometer valve water closets Dishwashers Dishwashers *Lavatory Faucets shall not have a flow rate I *Kitchen faucets may temporarily increase flow rate I *Kitchen faucets with a maximum 1.8 gpm flow with a maximum flush rate of 1.06 gallons/flue</th></t<>	Showerheads Lavatory faucets, residential Lavatory faucets, nonresidential Lavatory faucets, nonresidential Kitchen faucets Metering Faucets Gravity tank type water closets Flushometer tank water closets Flushometer valve water closets Dishwashers Dishwashers *Lavatory Faucets shall not have a flow rate I *Kitchen faucets may temporarily increase flow rate I *Kitchen faucets with a maximum 1.8 gpm flow with a maximum flush rate of 1.06 gallons/flue

Page 1 of 1 (Rev. 01/17/17)

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(Rev. 01/17/17)

Y SINGLE FAMILY DWELLING ES., WOODLAND HILLS, CA

R POLLUTION CONTROL

eles Green Building Code)

GRN 1

FORM

uirements for Construction Activities equirements for All Construction Projects

approved set of construction/grading plans and keeping which must be implemented on all construction

grading or excavation that result in soil disturbance. on). It does not include routine maintenance to maintain inal purpose of facility; emergency construction activities safety; interior remodeling with no outside exposure of rm water, mechanical permit work, or sign permit work. -Part 5: Definitions)

ained on site and shall not be transported from the site via age or wind.

- ated materials shall be covered and/or protected from being
- must be stored in accordance with their listing and shall ers. All approved toxic storage containers are to be leaned up immediately and disposed of properly and shall

vehicle washing and any other activity shall be contained

- into the public way or any drainage system. Provisions until it can be appropriately disposed of or recycled. nust be deposited into a covered receptacle to prevent y wind.
- acked from the site by vehicle traffic. The construction inhibit sediments from being deposited into the ust be swept up immediately and may not be washed down
- ovided to retain storm water runoff on-site and shall be noff.
- e is not feasible due to site constraints, runoff may be stem provided that an approved filtering system is installed on duration.

y of Los Angeles does not discriminate on the basis of disability and, upon request, will ervices and activities. www.ladbs.org

FORM

GRN 16

FIXTURE FLOW RATES sidential Occupancies

Angeles Green Building Code ate this form into the plans)

TION 4.303.1 ON FIXTURE FLOW RATES

MAXIMUM ALLOWABLE FLOW RATE
1.8 gpm @ 80 psi
1.2 gpm @ 60 psi ^{1,3}
0.4 gpm @ 60 psi ^{1,3}
1.5 gpm @ 60 psi ^{2,4}
0.2 gallons/cycle
1.28 gallons/flush ⁵
1.28 gallons/flush ⁵
1.28 gallons/flush ⁵
0.125 gallons/flush
ENERGY-STAR certified
ENERGY-STAR certified

ss than 0.8 gpm at 20 psi.

above the maximum rate, but not above 2.2gpm @ 60psi gpm @ 60psi. ators or other means may be used to achieve reduction.

- rate may be installed in buildings that have water closets installed throughout.
- ith an effective flush of 1.28 gallons or less. olume shall not exceed 1.28 gallons (4.8 liters). The flush volume when tested in accordance with ASME
- ume shall not exceed 1.28 gallons (4.8 liters). The

he composite, average flush volume of two reduced flushes be tested in accordance with ASME A112.19.2 and ASME

- LACDBS
- DEPARTMENT OF BUILDING AND SAFET
 - 2017 Los Angeles Green Building Code GREEN BUILDING CODE PLAN CHECK NOTES
- **RESIDENTIAL BUILDINGS** 1. For each new dwelling and townhouse, provide a listed raceway that can accommodate a dedicated 208/240 volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. The panel or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for
- For common parking area serving R-occupancies, the electrical system shall have sufficient capacity to simultaneously charge all designated EV spaces at the full rated amperage of the Electric Vehicle Supply Equipment (EVSE) Design shall be based upon a 40-ampere minimum branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the Los Angeles Electrical Code. (4.106.4.2)

future EV charging as "EV CAPABLE". The raceway termination location

shall be permanently and visibly marked as "EV CAPABLE". (4.106.4.1)

- 3. Roofs with slopes < 2:12 shall have an SRI value of at least 75 or both a 3-year solar reflectance of at least 0.63 and a thermal emittance of at least 0.75. Roofs with slopes > 2.12 shall have an SRI value of at least 16 or both a 3-year solar reflectance of at least 0.20 and a thermal emittance of at least 0.75 (4.106.5)
- 4. The required hardscape used to reduce heat island effects shall have a solar reflectance value of at least 0.30 as determined per ASTM E1918 or ASTM C1549. (4.106.7)
- 5. The flow rates for all plumbing fixtures shall comply with the maximum flow rates in Section 4.303.1.
- 5. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80psi, or the shower shall be designed to only allow one showerhead to be in operation at a time. (4.303.1.3.2)
- 7. Installed automatic irrigation system controllers shall be weather- or soil-based (WMELO, § 492.7) controllers. 8. For projects that include landscape work, the Landscape Certification, Form
- GRN 12, shall be completed prior to final inspection approval. (State Assembly Bill No. 1881) 9. Annular spaces around pipes, electric cables, conduits, or other openings in the building's envelope at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or metal plates. Piping prone to corrosion shall be protected in accordance with
- Section 313.0 of the Los Angeles Plumbing Code. (4.406.1)10. Materials delivered to the construction site shall be protected from rain or other sources of moisture.
- 11. Only a City of Los Angeles permitted hauler will be used for hauling of construction waste (44081)
- 12. For all new equipment, an Operation and Maintenance Manual including, at a minimum, the items listed in Section 4.410.1, shall be completed and placed in the building at the time of final inspection. (4.410.1)

EDBS

PARTMENT OF BUILDING AND SAFE

WATER CONSERVATION NOTES - ORDINANCE #184248 **RESIDENTIAL BUILDINGS**

s a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will

PLUMBING SYSTEM

provide reasonable accommodation to ensure equal access to its programs, services and activities

- 1. Multi-family dwellings not exceeding three stories and containing 50 units or less shall install a separate meter or submeter within common areas and within each individual dwelling unit. (4.303.3)
- 2. Water use reduction shall be met by complying with one of the following:
- A. Provide a 20% reduction in the overall potable water use within the building. The reduction shall be based on the maximum allowable water use for plumbing fixtures and fittings as required by the Los Angeles Plumbing Code. Calculations demonstrating a 20% reduction in the building "water use baseline", as
- established in Table 4.303.4.1, shall be provided; or B. New fixtures and fittings shall comply with the
- maximum flow rates shown in Table 4.303.4.2, or C. Plumbing fixtures shall use recycled water. (4.303.4)Exception: Fixture replacements
- 3. New building on a site with 500 square feet or more of cumulative landscape area shall have separate meters or submeters for outdoor water use. (4.304.3)
- 4. Additions and alterations on a site with 500 square feet or more of cumulative landscape area and where the entire potable water system is replaced, shall have separate meters or submeters for outdoor water use. (4.304.3)
- 5. In other than single family dwellings, locks shall be installed on all publicly accessible exterior faucets and hose (4.304.4)
- 6. Provide a cover having a manual or power-operated reel system in any permanently installed outdoor in-ground swimming pool or spa in onc- and two-family dwellings. For irregular-shaped pools where it is infeasible to cover 100% of the pool due to its irregular shape, a minimum of 80% of the pool shall be covered. (4.304.5)
- 7. Except as provided in this section, for sites with over 500 square feet of landscape area, alternate waste piping shall be installed to permit discharge from the clothes washer, bathtub, showers, and bathroom/restrooms wash basins to be used for a future graywater irrigation system. (4.305.1)
- 8. Except as provided in this section, where City-recycled water is available within 200 feet of the property line, water closets, urinals, floor drains, and process cooling and heating in the building shall be supplied from recycled water and shall be installed in accordance with the Los Angeles Plumbing Code. (4.305.2)

13. All new gas fireplaces must be direct-vent, sealed combustion type. Wood burning fireplaces are prohibited per AQMD Rule 445. (4.503.1, AQMD Rule 445)

FORM

GRN 14

- 14. All duct and other related air distribution component openings shall be covered with tape, plastic, or sheet metal until the final startup of the heating, cooling and ventilating equipment. (4.504.1)
- 15. Paints and coatings, adhesives, caulks and sealants shall comply with the Volatile Organic Compound (VOC) limits listed in Tables 4.504.1-4.504.3.
- 16. The VOC Content Verification Checklist, Form GRN 2, shall be completed and verified prior to final inspection approval. The manufacturer's specifications showing VOC content for all applicable products shall be readily available at the job site and be provided to the field inspector for verification. (4.504.2.4)
- 17. All new carpet and carpet cushions installed in the building interior shall meet the testing and product requirements of one of the following (4.504.3): Carpet and Rug Institute's Green Label Plus Program California Department of Public Health's Specification 01350 NSF/ANSI 140 at the Gold level
- d. Scientific Certifications Systems Indoor Advantage™ Gold 18. 80% of the total area receiving resilient flooring shall comply with one or more
- of the following (4.504.4): VOC emission limits defined in the CHPS High Performance Products Certified under UL GREENGUARD Gold
- Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program d. Meet the California Department of Public Health's Specification 01350
- 19 New hardwood plywood, particle board, and medium density fiberboard composite wood products used in the building shall meet the formaldehyde limits listed in Table 4.504.5. (4.504.5)
- (4.303.1) 20. The Formaldehyde Emissions Verification Checklist, Form GRN 3, shall be completed prior to final inspection approval. (4.504.5)
 - 21. Mechanically ventilated buildings within 1,000 feet of a freeway shall provide regularly occupied areas of the building with a MERV 13 filter for outside and return air. Filters shall be installed prior to occupancy and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.
 - 22. A 4-inch thick base of 1/2 inch or larger clean aggregate shall be provided for proposed slab on grade construction. A vapor barrier shall be provided in direct contact with concrete for proposed slab on grade construction. (4.505.2.1) 23. Building materials with visible signs of water damage shall not be installed.
 - Wall and floor framing shall not be enclosed until it is inspected and found to be satisfactory. (4.505.3)
 - 24. Newly installed bathroom exhaust fans shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building. Provide the manufacturer's cut sheet for verification. (4.506.1)
- (4.407.4) 25. Newly installed bathroom exhaust fans, not functioning as a component of a whole house ventilation system, must be controlled by a humidistat which shall be readily accessible. (4.506.1)
 - 26. The heating and air-conditioning systems shall be sized and designed using ANSI/ACCA Manual J-2004, ANSI/ACCA 29-D-2009 or ASHRAE handbooks and have their equipment selected in accordance with ANSI/ACCA 36-S Manual S-2004. (4.507.2)

GRN 18R 2017 Los Angeles Green Building Code

FORM

9. In new buildings of 25 stories or less, the cooling towers shall comply with one of the following: A. Shall have a minimum of 6 cycles of concentration

- (blowdown); or B. A minimum of 50% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash. (4.305.3.1)
- 10. In new buildings over 25 stories, the cooling towers shall comply with all of the following:
- A. Shall have a minimum of 6 cycles of concentration (blowdown); and B. 100% of the makeup water supply to the cooling
- towers shall come from non-potable water sources, including treated backwash. (4.305.3.2)
- 11. Where groundwater is being extracted and discharged, develop and construct a system for onsite reuse of the groundwater. Alternatively, the groundwater may be discharged to the sewer. (4.305.4)
- 12. Provide a hot water system complying with one of the following (Los Angeles Plumbing Code Section 610.4.1): A. The hot water system shall not allow more than 0.6 gallons of water to be delivered to any fixture before hot water arrives.
- B. Where a hot water recirculation or electric resistance heat trace wire system is installed, the branch from the recirculating loop or electric resistance heat trace wire to the fixture shall contain a maximum of 0.6 gallons. C. Residential units having individual water heaters shall
- have a compact hot water system that meets all of the following: a. The hot water supply piping from the water heater
- to the fixtures shall take the most direct path. b. The total developed length of pipe from the water
- heater to farthest fixture shall not exceed the distances specified in Table 3.6.5 of the California Energy Code Residential Appendix.
- c. The hot water supply piping shall be installed and insulated in accordance with Section RA3.6.2 of the California Energy Code Residential Appendix.

IRRIGATION SYSTEM

12. A water budget for landscape irrigation use that conforms to the California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO) is required for new landscape areas of 500 sq. ft. or more. The following methods to reduce potable water use in landscape areas include, but are not limited to, use of captured rainwater, recycled water, graywater, or water treated for irrigation purposes and conveyed by a water district or public entity. (4.304.1)

s Act, the City of Los Angeles does not discriminate on the basis of disability sure equal access to its programs, services and activities.

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provide reasonable accommodation to ensure equal access to its programs, services and activities Page 1 of 1

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ELA DBS DEPARTMENT OF BUILDING AND SAFETY

2017 Los Angeles Green Building Code

MANDATORY REQUIREMENTS CHECKLIST NEWLY CONSTRUCTED RESIDENTIAL BUILDINGS (COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

Р	ermit #		Date:7/	6/2017
ГЕМ #	CODE SECTION	REQUIREMENT	REFERENCE SHEET Sheet # or N/A)	COMMENTS e.g. note #, detail # or reason for N/A
		PLANNING AND DESIGN		
		Storm water drainage and retention during		
1	4.106.2	construction	GR-1	GRN -1
2	4.106.3	Grading and paving	A1-1	SITE PLAN
3	4.106.4	Electric vehicle (EV) charging	A1-1	SITE PLAN
4	4.106.5	Cool roof for reduction of heat island effect	A1-2	ROOF SPECS
5	4.106.7	Reduction of heat island effect for non-roof areas	N/A	EXIST. HARDSCAPE
		ENERGY EFFICIENCY		
6	4.211.4	Solar ready buildings	A1-2	ROOF PLAN
		WATER EFFICIENCY & CONSERVATION	51	
7	4.303.1	Water conserving plumbing fixtures and fittings	GR-1	GRN 18R NOTE 2
8	4.303.1.3.2	Multiple showerheads serving one shower	GR-1	GRN 14 NOTE 6
9	4.303.3	Water submeters	GR-1	GRN 18R NOTE 1
10	4.303.4	Water use reduction	GR-1	GRN 18R NOTE 2
11	4.304.1	Outdoor potable water use in landscape areas	A1-2	ROOF PLAN
12	4.304.2	Irrigation controllers	A1-2	ROOF PLAN
13	4.304.3	Metering outdoor water use	GR-1	GRN 18R NOTE 3, 4
14	4.304.4	Exterior faucets	GR-1	GRN 18R NOTE 5
15	4.304.5	Swimming pool covers	GR-1	GRN 18R NOTE 6
16	4.305.1	Graywater ready	GR-1	GRN 18R NOTE 7
17	4.305.2	Recycled water supply to fixtures	GR-1	GRN 18R NOTE 8
18	4.305.3.1	Cooling towers (buildings ≤ 25 stories)	GR-1	GRN 18R NOTE 9
19	4.305.3.2	Cooling towers (buildings > 25 stories)	GR-1	GRN-18R NOTE 10
20	4.305.4	Groundwater discharge	GR-1	GRN-18R NOTE 11
		MATERIAL CONSERVATION & RESOURC	CE EFFICIENCY	Y
21	4.406.1	Rodent proofing	GR-1	GRN-14 NOTE 9
22	4.407.3	Flashing details	A-4	DETAIL 18
23	4.407.4	Material protection	GR-1	GRN-14 NOTE 10
24	4.408.1	Construction waste reduction of at least 65%	GR-1	GRN-14 NOTE 11
25	4.410.1	Operation and maintenance manual	GR-1	GRN-14 NOTE 12
		ENVIRONMENTAL QUALITY		
26	4.503.1	Fireplaces and woodstoves	N/A	NO FIREPLACE
27	4.504.1	Covering of duct openings and protection of mechanical equipment during construction	GR-1	GRN-14 NOTE 14
28	4.504.2	Finish material pollutant control		
29	4.504.2.1	– Adhesives, sealants, caulks	GR-1	GRN-11
30	4.504.2.2	 Paints and coatings 		ONNETT
31	4.504.2.3	 Aerosol paints and coatings 		
32	4.504.2.4	– Verification	GR-1	GRN-14 NOTE 16
33	4.504.3	Carpet systems	GR-1	GRN-14 NOTE 17
34	4.504.3.1	Carpet cushion	GR-1	GRN-14 NOTE 17
35	4.504.4	Resilient flooring systems	GR-1	GRN-14 NOTE 18
36	4.504.5	Composite wood products	GR-1	GRN-14 NOTE 19
37	4.504.6	Filters	GR-1	GRN-14 NOTE 21
38	4.505.2.1	Capillary break	S-3	EXEMPT (RAISED FOUND.)
39	4.505.3	Moisture content of building materials	GR-1	GRN-14 NOTE 23
40	4.506.1	Bathroom exhaust fans	A-2	FLOOR PLAN NOTES
41	4.507.2	Heating and air-conditioning system design		

DIZIT ARCHITECTS

FORM

GRN 4

21243 Ventura Blvd. # 115 Woodland Hills, CA 91364 T (818) 710 -7482 F (818) 745 -5329 fdzt@dizittiarchitects.com www.dizittiarchitects.com

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1. -REVISIONS

1639-SINGH-MSTR1 CAD FILE: SCALE:

F.D.Z.

DATE: JUNE 28, 2019

PHASE

DRAWN BY:

CONSTR. DOCS. SHEET TITLE:

MANDATORY

GREEN STANDARDS DRAWING NUMBER



SHEET INDEX

ARCHITECTURAL

- GRN-1 GREEN BUILDING SPECIFICATIONS A-1.1 SITE PLAN AND GENERAL NOTES
- A-1.2 ROOF & L.I.D PLANS AND CALCS
- A-2.1 UPPER FLOOR PLAN & SCHEDULES A-2.2 MID FLOOR PLAN
- A-2.3 LOWER FLOOR PLAN
- A-3.1 ELEVATIONS A-3.2 ELEVATIONS
- A-4 SECTIONS
- A-5 ARCHITECTURAL DETAILS A-6.1 ARCHITECTURAL NOTES
- A-7.1 ADDITION TITLE 24 A-7.2 ADDITION TITLE 24

STRUCTURAL

- S-1.0 GENERAL STRUCTURAL NOTES
- S-1.1 STRUCTURAL OBSERVATION NOTES S-2.1 FOUNDATION PLAN
- S-2.2 ROOF FRMG. PLAN
- S-3.1 FOUNDATION DETAILS
- S-4.1 FRAMING DETAILS

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWINGS, ARE THE PROPERTY OF FERNANDO DI ZITTI, ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS INDICATED OR REPRESENTED BY THIS DRAWINGS, ARE THE PROPERTY OF FERNANDO DI ZITTI, ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION, FOR ANY PURPOSE WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF FERNANDO DI ZITTI, ARCHITECT.

GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:

A. THESE GENERAL NOTES, DRAWINGS AND SPECIFICATIONS. B. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.

C. INSTALL ALL PRODUCTS PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.

2. COPYRIGHT

ALL PLANS, DESIGNS, AND CONCEPTS SHOWN IN THESE DRAWINGS' ARE THE EXCLUSIVE PROPERTY OF FERNANDO DI ZITTI, ARCHITECT AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED FOR ANY PURPOSE WHATSOEVER WITHOUT ARCHITECT'S SPECIFIC WRITTEN PERMISSION

3. <u>CODES.</u> ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS OF THE LOCAL MUNICIPALITY. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY, AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES

4. FIELD VERIFICATION:

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK OR ORDERING MATERIALS.

THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT REGARDING DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK. 5. DIMENSIONS

WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCAL DRAWINGS. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR INTERPRETATION OR CLARIFICATION. PLAN DIMENSIONS ARE TO THE FACE OF SHEATHING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTEDSECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.

6. DISCREPANCIES:

IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THIS PROJECT, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT FAILURE TO GIVE AMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTION FROM THE ARCHITECT.

7. DUTY OF COOPERATION

RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGHT THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES HITH DUE CARE AND DILIGENCE, THEY CAN NOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT AND EVERY CONTINGENCY CAN NOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHOULD BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT, COMPOUND MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSABILITY FOR ALL CONSEQUENCES.

8. CHANGES TO THE WORK. ANY ITEMS DESCRIBED HEREIN THAT IMPACT PROJECT BUDGET OR TIME, SHALL BE REQUESTED BY THE CONTRACTOR VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES GENERAL CONTRACTOR'S ACKNOWLEDGMENT OF THE DEVIATION FROM THE PLANS. ALL CHANGES TO WORK MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSABILITY FOR ANY AND ALL CONSEQUENCES RESULTING PROM SUCH CHANGES 9. WORKMANSHIP:

IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES AND EQUIPMENT TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY. INSTALL ALL PRODUCTS AND/OR MATERIALS IN STRICT COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS. 10. JOB SITE:

TEMPORARY SANITARY FACILITIES TO BE PROVIDED FOR WORKMEN'S USE, AS APPROVED BY THE DEPT. OF BUILDING & SAFETY.

DURING THE CONSTRUCTION, CARE SHALL BE TAKEN TO KEEP THE SITE AS CLEAN OF EXCESS OF MATERIAL AS POSSIBLE. UPON COMPLETION OF THE CONSTRUCTION OR THAT PORTION THEREOF PERTAINING TO A PARTICULAR TRADE, ALL EXCESS MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE IMMEDIATELY; AND NEW CONSTRUCTION IS TO BE LEFT IN A BROOM CLEAN CONDITION. THE PROJECT CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT ADJACENT PROPERTIES, WORKERS, AND OTHER PERSONS DURING EXCAVATION AND SITE PREPARATION OPERATIONS.

PARCEL PROFILE REPORT:

Address/Legal Information

Map Sheet

168B101 389 PIN Number Lot/Parcel Area (Calculated) 6,846.7 (sq ft) Thomas Brothers Grid PAGE 559 - GRID J4 Assessor Parcel No. (APN) 2170006085 TR 6170 Tract Map Reference M B 76-41/43 (SHTS 19-21) Block Lot 1627 Arb (Lot Cut Reference) None

168B101

Jurisdictional Information Community Plan Area Canoga Park - Winnetka -Woodland Hills - West Hills Area Planning Commission South Valley

Neighborhood Council Woodland Hills/Warner Center Council District CD 3 - Bob Blumenfield Census Tract # 1374.021

LADBS District Office Van Nuys Planning and Zoning Information

Planning and Zoning Information
Special Notes None
Zoning R1-1
Zoning Information (ZI)
ZI-1224 Mulholland Scenic Pkwy (Outer Corridor
ZI-2462 [Modif. to SF Zones
&SF Zone Hillside Area Reg's]
General Plan Land Use Low Residential
General Plan Footnote(s) Yes
Hillside Area (Zoning Code) Yes
Specific Plan Area
Mulholland Scenic Pkwy (OuterCorridor)
Special Land Use / Zoning None
Design Review Board Yes
Historic Preservation Review No
Historic Preservation Overlay Zone None
Other Historic Designations None
Other Historic Survey Information None
Mills Act Contract None
Comm. Design Overlay None
Community Plan Imp. Overlay None
District None
Subarea None
Clean Up-Green Up None Neighborhood Stabilization Overlay No
Pedestrian Oriented Districts None
Sign District No
Streetscape No
Adaptive Reuse Incentive Area None
Ellis Act Property No
Rent Stabilization Ordinance (RSO) No
CRA - Community Redevelopment Agency None
Central City Parking No
Downtown Parking No
Building Line None
500 Ft School Zone Active:Woodland Hills
Elementar
School
500 Ft Park Zone No

Assessor Parcel No. (APN) 2170006085 APN Area (Co. Public Works)* 0.157 (ac) Use Code 0100 - Res. - Single Family Residence Building 1 Year Built N/A Building Class N/A Number of Units Number of Bedrooms Number of Bathrooms Building Square Footage 0 (sq ft)

Additional Information Airport Hazard None None Coastal Zone

Urban and Built-up Land Farmland Urban Agriculture Incentive Zone Yes Very High Fire Hazard Severity Zone Yes Fire District No. 1 No Flood Zone None Watercourse No Hazardous Waste / Border Zone Properties No Methane Hazard Site None High Wind Velocity Areas No Spec. Grad'g Area(BOE Basic Grid A-13372) Yes Oil Wells None Seismic Hazards

Active Fault Near-Source Zone Nearest Fault (Distance in km) 10.3827072 Nearest Fault (Name) Malibu Coast Fault Region Transv. Ranges & L A Basin Fault Type Slip Rate (mm/year) 0.3000000 Slip Geometry Left Lateral - Reverse - Oblique Poorly Constrained Slip Type Down Dip Width (km) 13.0000000 0.00000000 Rupture Top 13.00000000 Rupture Bottom Dip Angle (degrees) 75.00000000 6.70000000 Maximum Magnitude Alquist-Priolo Fault Zone No Landslide Yes Liquefaction No Preliminary Fault Rupture Study Area No Tsunami Inundation Zone No Economic Development Areas

None Business Improvement District Promise Zone None Renewal Community No Revitalization Zone None State Enterprise Zone None Targeted Neighborhood Initiative None

Public Safety Police Information Bureau Valley Division / Station Topanga Reporting District 2185 Fire Information Bureau Batallion District / Fire Station Red Flag Restricted Parking No

SETBACK ANALYSIS

		REQUIRED
FRONT SETBAC	4.62' [PREV. STB]	
SIDE SETBACK	7'	
REAR SETBACK	15'	
BUILDING HEIGI	нт	25' ENVELOPE
PARKING	2 / 1	

FLOOR AREA ANALYSIS AREA DESCRIPTION [E] S.F.D. PER ASSESSOR GARAGE _ OTHER AREAS TOTAL EXISTING _ 1,160 ,160 NEW LOWEST FLOOR 1,860 1,860 NEW SECOND FLOOR 1,070 1,070 NEW UPPER LEVEL. 400 GARAGE / CARPORT 86 COVERED PATIO - 2nd FLOOR 328 COVERED PATIO - LOWEST FLR OTHER AREA 4,090 400 4,090 414 TOTAL PROPOSED TOTAL

PER SLOPE BAND ANALYSIS, MAX R.F.A. IS 5,464.80 SF > 4,590 SF = HOUSE IS OK AREAS ARE CALCULATED FOR CODE PURPOSES ONLY. SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES

SITE SPECIFIC NOTES

"PROJECT SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, RESIDENTIAL, MECHANICAL, ELECTRICAL.

PLUMBING, GREEN AND ENERGY CODES" "THE PROJECT CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT ADJACENT

PROPERTIES, WORKERS, AND OTHER PERSONS DURING EXCAVATION AND SITE PREPARATION OPERATIONS.

THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN

ACCORDANCE WITH SECTION R313.3 or NFPA13D. (R313, 12.21A17(d)) THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

LEGAL DESCRIPTION

PROJECT AI	DDRESS: 4925 LLA	ANO DRIVE, WOODLAND HILLS,	, CA
BUILDING DI	EPARTMENT: CITY OF	LOS ANGELES, VAN NUYS	
A.P.N.:	2170-006-085	TYPE OF CONSTRUCTION:	,
TRACT:	TR 6170	LOT: 1627	
MAP REF.:	M B 76-41/43 (19-21)	DISTRACT MAP:	16
LOT SIZE:	6,846.7sq ft	ZONE:	R1

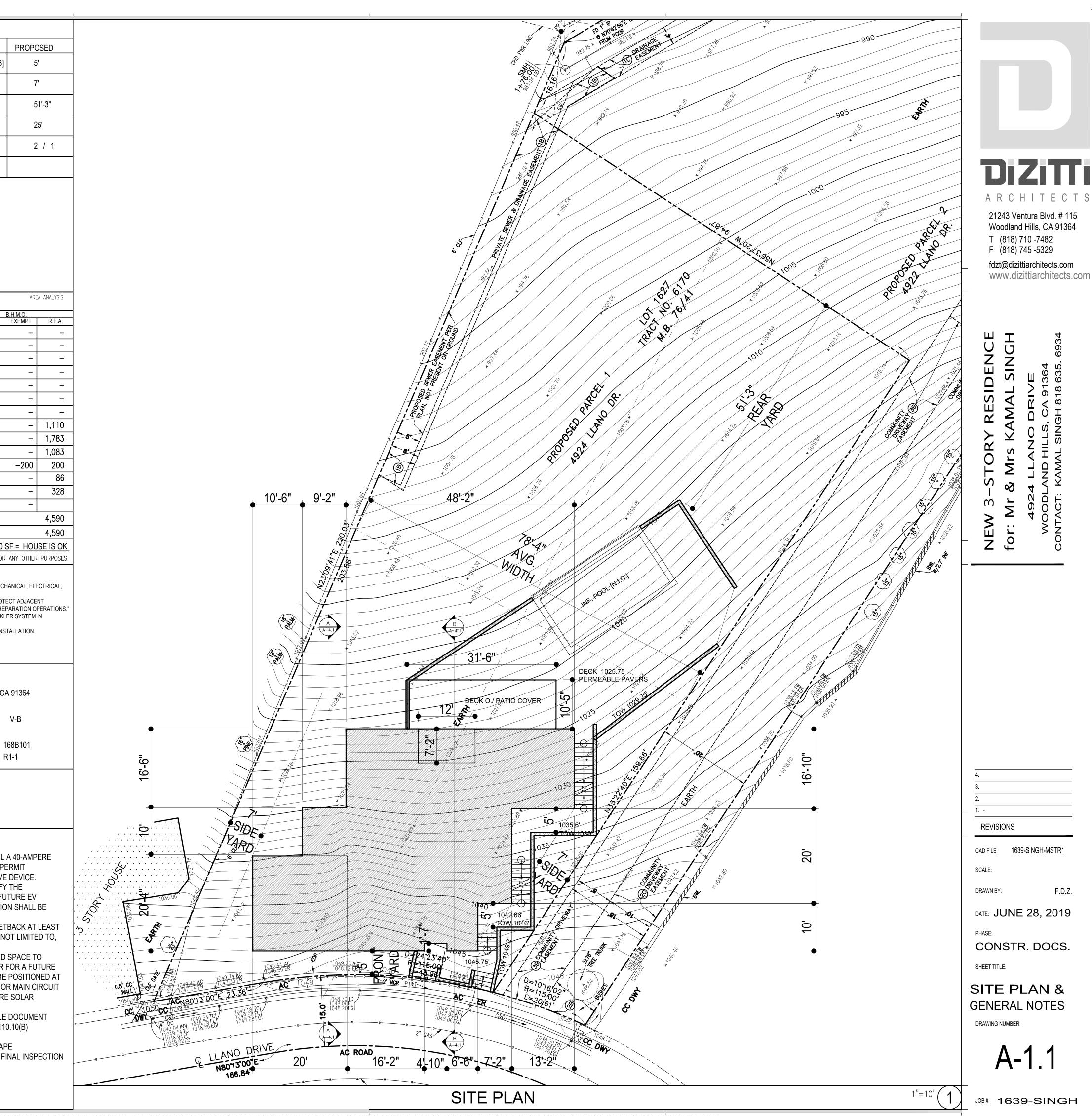
SCOPE OF WORK

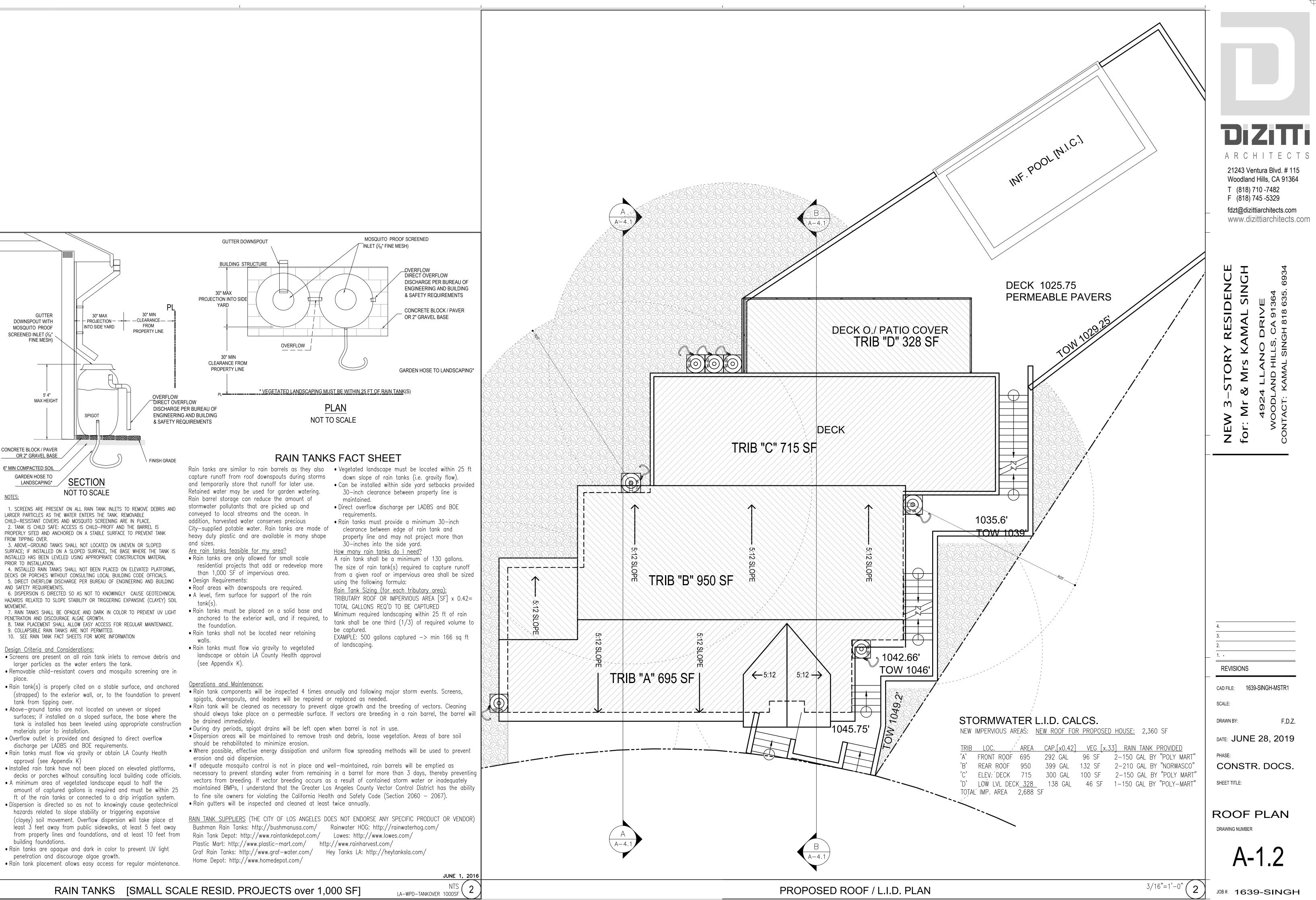
NEW XXXX SF THREE-STORY SINGLE FAMILY DWELLING **TYPE V-B ON A RAISED FOUNDATION**

GREEN PLAN CHECK NOTES

THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MIN. DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. -THE SERVICE OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE. -THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, EQUIPMENT, PARAPETS, AND STAIRWELLS. -THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'." -A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B)

THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT." -FOR PROJECTS THAT INCLUDE LANDSCAPEWORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL." (STATE ASSEMBLY BILL NO. 1881)





ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWINGS, ARE THE PROPERTY OF FERNANDO DI ZITTI, ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS INDICATED OR REPRESENTED BY THIS DRAWINGS, ARE THE PROPERTY OF FERNANDO DI ZITTI, ARCHITECT.

Add Lot

Enter the Lot Information after adding rows:

	Setback (ft)	Frontage (ft)	
×		16	1
×	5	89.5	2
×	12	125.5	3
*	7	66.9	4
>	14	89.41	5
\$.5	50.45	6
-	5	50.44	7
*	- 11	47.32	8
>	.5	85.67	9
		87.25	10
		87.25	11
,	23	49.38	12
\$	6	43.33	13
		10.12	14
		10.12	15
5		20.61	16
3		73.33	17
	2	55	18
*	2	88.32	19
2		12.38	20
•	2	121.64	21
-	5	115.26	22
*	9	65.18	23
2	8	65.86	24
	8	57.23	25

Number of lots: 25

Prevailing Setback: 4.62 ft

Calculation.

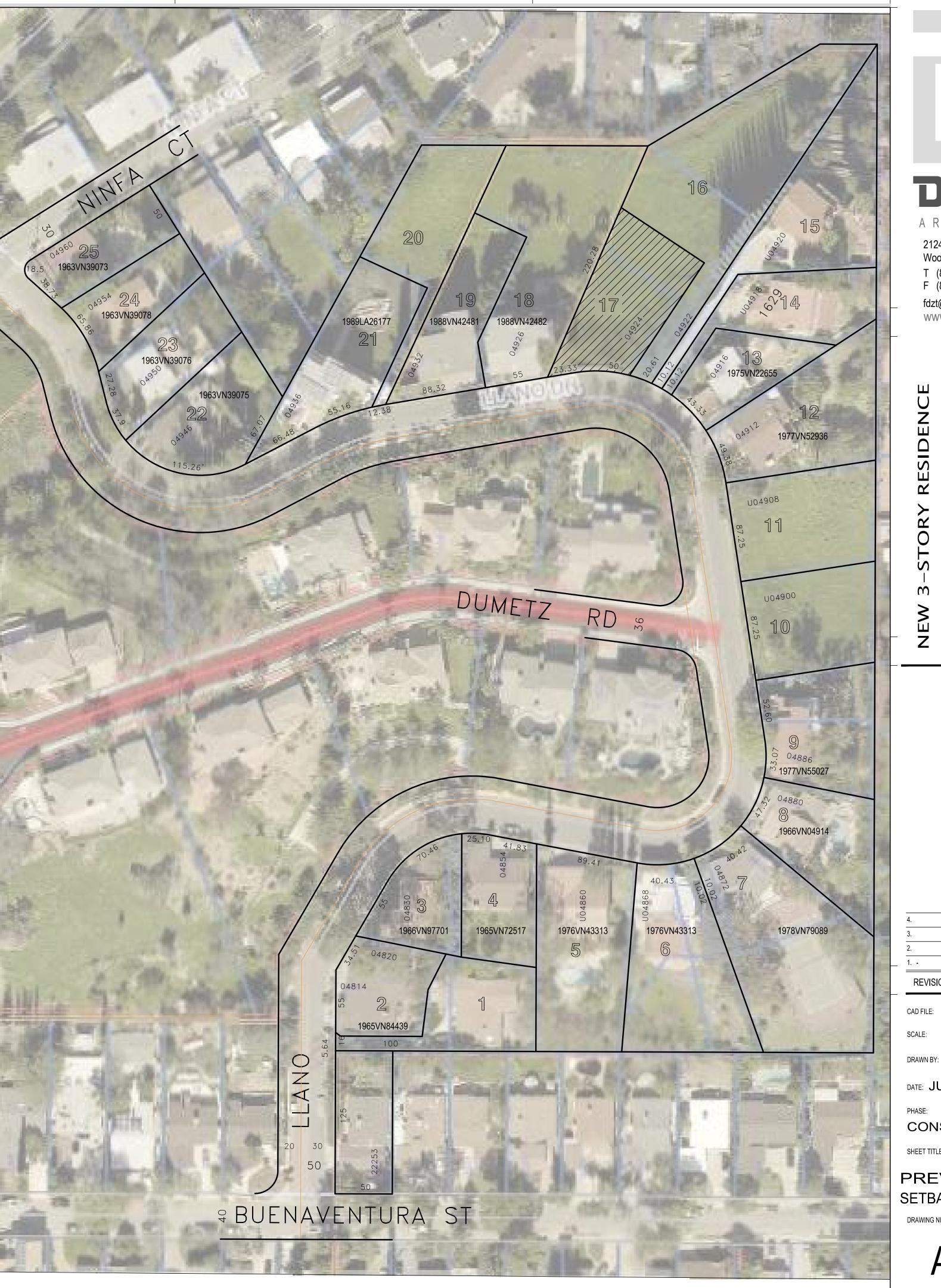
Total no of lots entered: 25 Total frontage entered: 1583.45 ft 40% from total frontage entered: 633.38 ft No of lots used in the calculation: 13 Setback range used: 0.50 ft - 9.00 ft Total frontage used in the calculation: 954.78

Lots Used

Lot	Frontage (ft)	Setback (ft)
2	89.50	5.00
4	66.90	7.00
6	50.45	0.50
7	50.44	5.00
9	85.67	0.50
13	43.33	6.00
18	55.00	2.00
19	88.32	2.00
21	121.64	2.00
22	115.26	5.00
23	65.18	9.00
24	65.86	8.00
25	57.23	8.00

View Calculation Details

Results



PREVAILING SETBACK MAP

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWINGS, ARE THE PROPERTY OF FERNANDO DI ZITTI, ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION, FOR ANY PURPOSE WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF FERNANDO DI ZITTI, ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION, FOR ANY PURPOSE WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF FERNANDO DI ZITTI, ARCHITECT.

1"=50'

DIZITTI ARCHITECTS 21243 Ventura Blvd. # 115 Woodland Hills, CA 91364 T (818) 710 -7482 F (818) 745 -5329 fdzt@dizittiarchitects.com www.dizittiarchitects.com

НU SIN NEW for: ¹

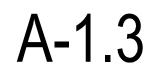
REVISIONS CAD FILE: 1639-SINGH-MSTR1

F.D.Z.

DATE: JUNE 28, 2019 PHASE: CONSTR. DOCS.

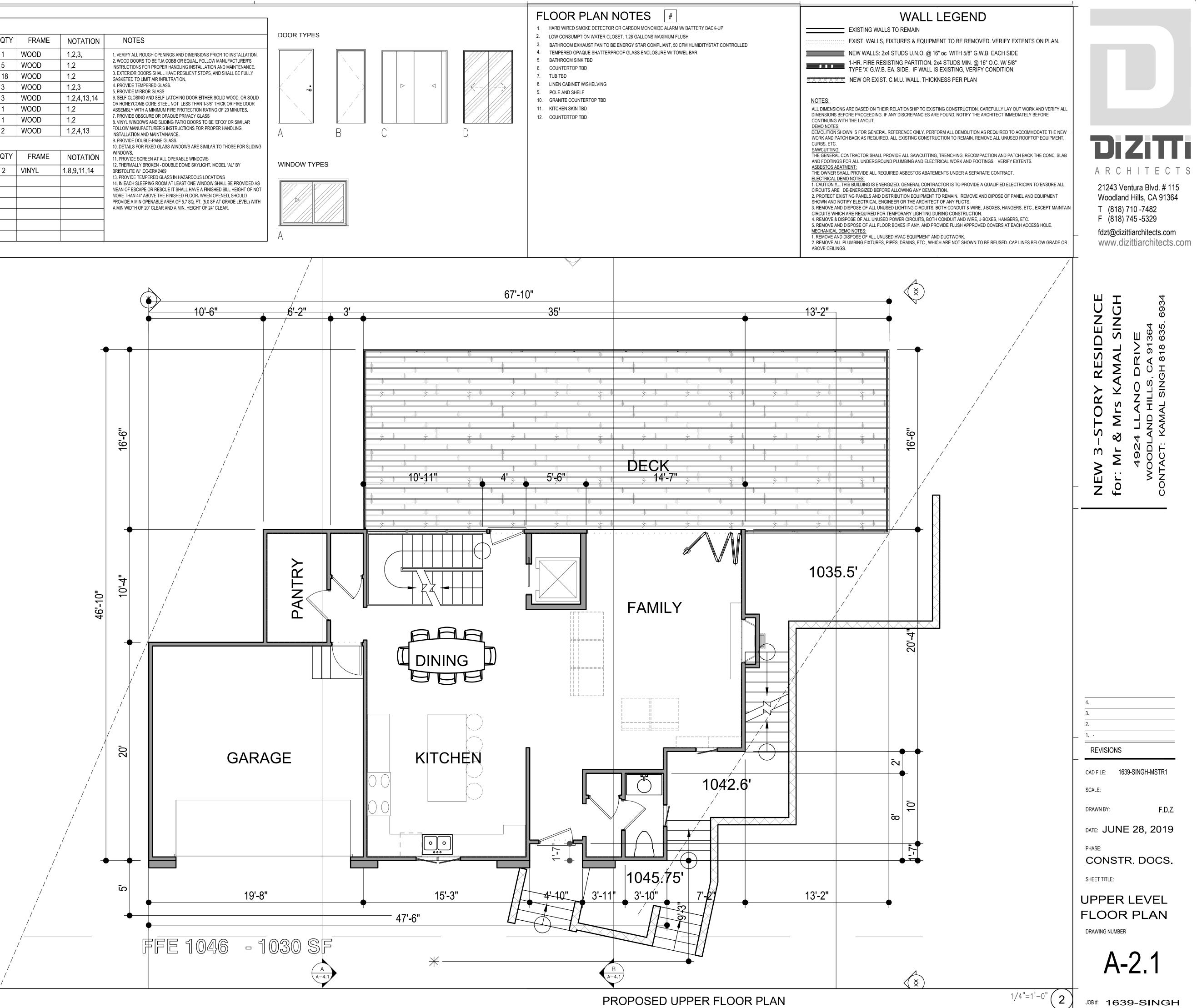
SHEET TITLE:

PREVAILING SETBACK CALCS DRAWING NUMBER



JOB#: 1639-SINGH

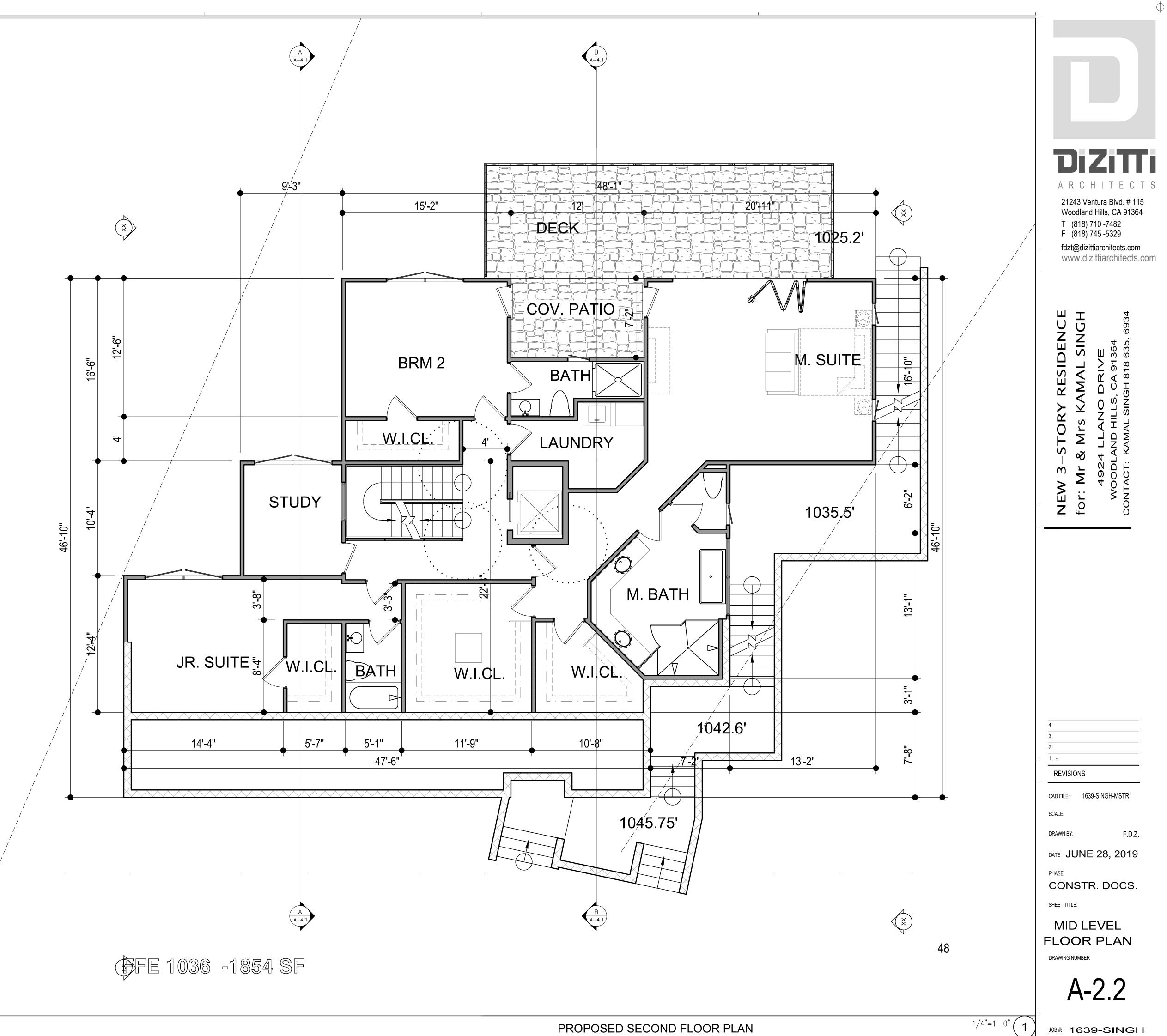
		DOOR SCHEDULE				
SYM. SIZE	TYPE	DESCRIPTION	QTY	FRAME	NOTATION	NOTES
01) 3"-0" x 7'-0'	A	ENTRY DOOR	1	WOOD	1,2,3,	1. VERIFY ALL ROUGH OP
(02) 2'-8" x 7'-0"	В	INT. SINGLE HINGED DOOR	5	WOOD	1,2	2. WOOD DOORS TO BE T INSTRUCTIONS FOR PRO
03) 2'-8" x 6'-8"	В	INT. SINGLE HINGED DOOR	18	WOOD	1,2	3. EXTERIOR DOORS SHA GASKETED TO LIMIT AIR
04) 3"-0" x 7'-0'	В	EXT. SINGLE HINGED DOOR	3	WOOD	1,2,3	4. PROVIDE TEMPERED G 5. PROVIDE MIRROR GLA
05) 6'-2" x 6'-8"	D	SLIDING EXTERIOR DOOR	3	WOOD	1,2,4,13,14	6. SELF-CLOSING AND SE OR HONEYCOMB CORE S
06 5'-2" x 6'-8"	С	SLIDING CLOSET DOOR	1	WOOD	1,2	ASSEMBLY WITH A MINIM
07) 3'-9" x 6'-8"	С	SLIDING CLOSET DOOR	1	WOOD	1,2	7. PROVIDE OBSCURE OR 8. VINYL WINDOWS AND S
08 8'-2" x 6'-8"	D	SLIDING EXTERIOR DOOR	2	WOOD	1,2,4,13	FOLLOW MANUFACTURER INSTALLATION AND MAINT
	WI	NDOW SCHEDULE				9. PROVIDE DOUBLE-PAN 10. DETAILS FOR FIXED G
SYM. SIZE	TYPE	DESCRIPTION	QTY	FRAME	NOTATION	WINDOWS. 11. PROVIDE SCREEN AT
1 4'-0" x 2'-0"	A	SLIDER WINDOW	2	VINYL	1,8,9,11,14	12. THERMALLY BROKEN BRISTOLITE W/ ICC-ER# 2
						13. PROVIDE TEMPERED (14. IN EACH SLEEPING RC
						MEAN OF ESCAPE OR RES MORE THAN 44" ABOVE T
						PROVIDE A MIN OPENABL A MIN WIDTH OF 20" CLEA



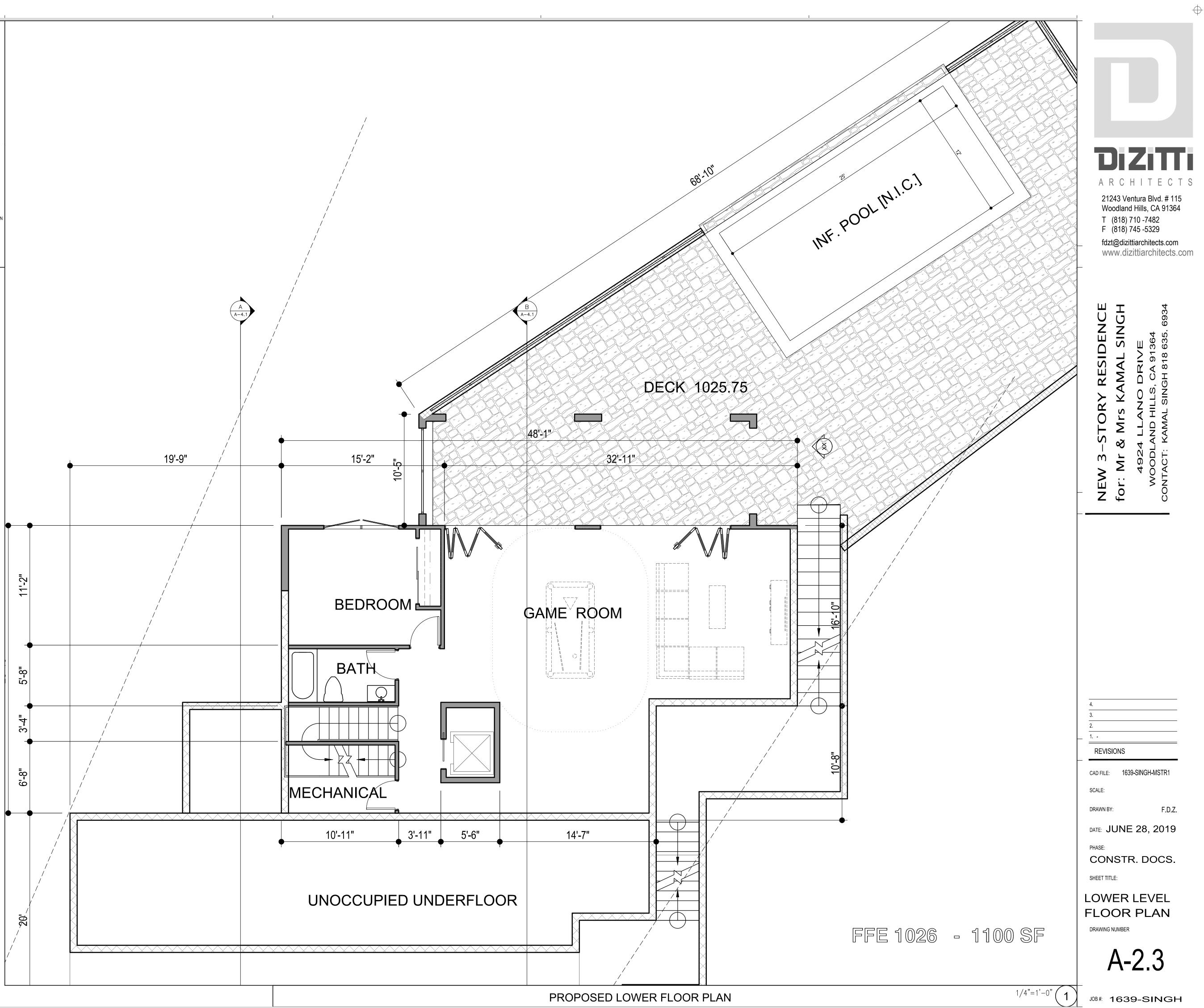
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 \oplus

	WALL LEGEND
	EXISTING WALLS TO REMAIN
	EXIST. WALLS, FIXTURES & EQUIPMENT TO BE REMOVED. VERIFY EXTENTS ON PLAN.
	NEW WALLS: 2x4 STUDS U.N.O. @ 16" oc WITH 5/8" G.W.B. EACH SIDE
	1-HR. FIRE RESISTING PARTITION. 2x4 STUDS MIN. @ 16" O.C. W/ 5/8"
	TYPE 'X' G.W.B. EA. SIDE. IF WALL IS EXISTING, VERIFY CONDITION.
	NEW OR EXIST. C.M.U. WALL. THICKNESS PER PLAN
DIMENSIONS BEFC CONTINUING WITH DEMO NOTES: DEMOLITION SHOW WORK AND PATCH CURBS, ETC. SAWCUTTING: THE GENERAL CO AND FOOTINGS FC ASBESTOS ABATM THE OWNER SHAL ELECTRICAL DEMU 1. CAUTION !!TH CIRCUITS ARE DI 2. PROTECT EXIST SHOWN AND NOTI 3. REMOVE AND D CIRCUITS WHICH J 4. REMOVE & DISF 5. REMOVE AND D MECHANICAL DEM 1. REMOVE AND D	VN IS FOR GENERAL REFERENCE ONLY. PERFORM ALL DEMOLITION AS REQUIRED TO ACCOMMODATE THE NEW BACK AS REQUIRED. ALL EXISTING CONSTRUCTION TO REMAIN. REMOVE ALL UNUSED ROOFTOP EQUIPMENT, INTRACTOR SHALL PROVIDE ALL SAWCUTTING, TRENCHING, RECOMPACTION AND PATCH BACK THE CONC. SLAB RAL UNDERGROUND PLUMBING AND ELECTRICAL WORK AND FOOTINGS. VERIFY EXTENTS. <u>ENT:</u> L PROVIDE ALL REQUIRED ASBESTOS ABATEMENTS UNDER A SEPARATE CONTRACT. <u>ONOTES:</u> S BUILDING IS ENERGIZED. GENERAL CONTRACTOR IS TO PROVIDE A QUALIFIED ELECTRICIAN TO ENSURE ALL -ENERGIZED BEFORE ALLOWING ANY DEMOLITION. ING PANELS AND DISTRIBUTION EQUIPMENT TO REMAIN. REMOVE AND DIPOSE OF PANEL AND EQUIPMENT FY ELECTRICAL ENGINEER OR THE ARCHITECT OF ANY FLICTS. SPOSE OF ALL UNUSED LIGHTING CIRCUITS, BOTH CONDUIT & WIRE, J-BOXES, HANGERS, ETC., EXCEPT MAINTAIN IRE REQUIRED FOR TEMPORARY LIGHTING DURING CONSTRUCTION. OSE OF ALL UNUSED POWER CIRCUITS, BOTH CONDUIT AND WIRE, J-BOXES, HANGERS, ETC. SPOSE OF ALL UNUSED FOR SIF ANY, AND PROVIDE FLUSH APPROVED COVERS AT EACH ACCESS HOLE.
 BATHROOM COUNTERTO TUB TBD LINEN CABIN POLE AND S 	P TBD ET W/SHELVING IELF UNTERTOP TBD N TBD



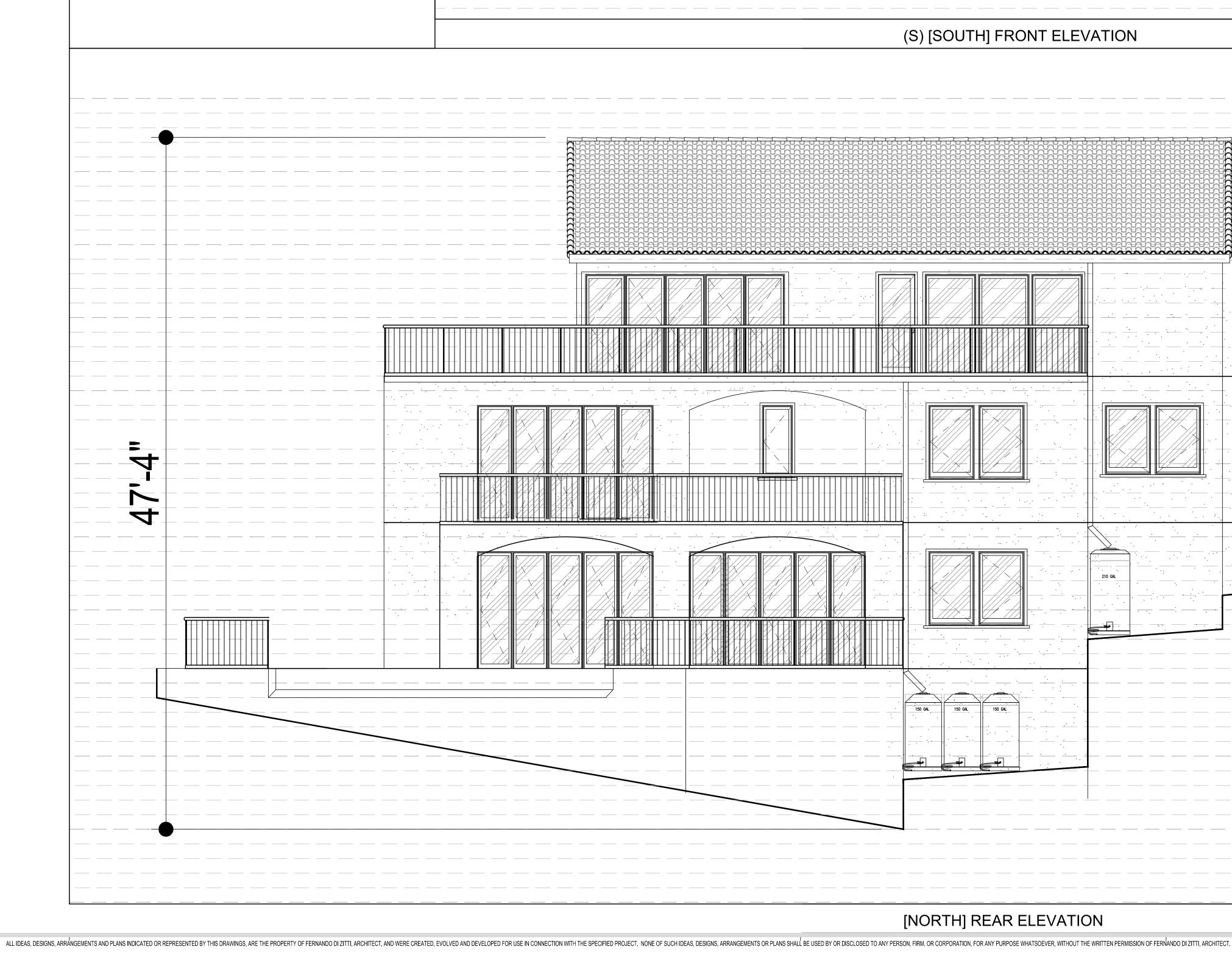
	WALL LEGEND						
	EXISTING WALLS TO REMAIN						
	EXIST. WALLS, FIXTURES & EQUIPMENT TO BE REMOVED. VERIFY EXTENTS ON PLAN.						
	NEW WALLS: 2x4 STUDS U.N.O. @ 16" oc WITH 5/8" G.W.B. EACH SIDE 1-HR. FIRE RESISTING PARTITION. 2x4 STUDS MIN. @ 16" O.C. W/ 5/8" TYPE 'X' G.W.B. EA. SIDE. IF WALL IS EXISTING, VERIFY CONDITION.						
	NEW OR EXIST. C.M.U. WALL. THICKNESS PER PLAN						
NOTES: ALL DIMENSIONS ARE BASED ON THEIR RELATIONSHIP TO EXISTING CONSTRUCTION. CAREFULLY LAY OUT WORK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING. IF ANY DISCREPANCIES ARE FOUND, NOTIFY THE ARCHITECT IMMEDIATELY BEFORE CONTINUING WITH THE LAYOUT. <u>DEMO NOTES:</u> DEMOLITION SHOWN IS FOR GENERAL REFERENCE ONLY. PERFORM ALL DEMOLITION AS REQUIRED TO ACCOMMODATE THE NEW WORK AND PATCH BACK AS REQUIRED. ALL EXISTING CONSTRUCTION TO REMAIN. REMOVE ALL UNUSED ROOFTOP EQUIPMENT, CURBS, ETC. <u>SAWCUTTING:</u> THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAWCUTTING, TRENCHING, RECOMPACTION AND PATCH BACK THE CONC. SLAB AND FOOTINGS FOR ALL UNDERGROUND PLUMBING AND ELECTRICAL WORK AND FOOTINGS. VERIFY EXTENTS. <u>ASBESTOS ABATMENT:</u> THE OWNER SHALL PROVIDE ALL REQUIRED ASBESTOS ABATEMENTS UNDER A SEPARATE CONTRACT. <u>ELECTRICAL DEMO NOTES:</u> 1. CAUTION !!THIS BUILDING IS ENERGIZED. GENERAL CONTRACTOR IS TO PROVIDE A QUALIFIED ELECTRICIAN TO ENSURE ALL CIRCUITS ARE DE-ENERGIZED BEFORE ALLOWING ANY DEMOLITION.							
SHOWN AND NOTIF 3. REMOVE AND DIS CIRCUITS WHICH A 4. REMOVE & DISPO 5. REMOVE AND DIS <u>MECHANICAL DEMO</u> 1. REMOVE AND DIS	ING PANELS AND DISTRIBUTION EQUIPMENT TO REMAIN. REMOVE AND DIPOSE OF PANEL AND EQUIPMENT FY ELECTRICAL ENGINEER OR THE ARCHITECT OF ANY FLICTS. SPOSE OF ALL UNUSED LIGHTING CIRCUITS, BOTH CONDUIT & WIRE, J-BOXES, HANGERS, ETC., EXCEPT MAINTAIN IRE REQUIRED FOR TEMPORARY LIGHTING DURING CONSTRUCTION. OSE OF ALL UNUSED POWER CIRCUITS, BOTH CONDUIT AND WIRE, J-BOXES, HANGERS, ETC. SPOSE OF ALL FLOOR BOXES IF ANY, AND PROVIDE FLUSH APPROVED COVERS AT EACH ACCESS HOLE. <u>O NOTES:</u> SPOSE OF ALL UNUSED HVAC EQUIPMENT AND DUCTWORK. UMBING FIXTURES, PIPES, DRAINS, ETC., WHICH ARE NOT SHOWN TO BE REUSED. CAP LINES BELOW GRADE OR						

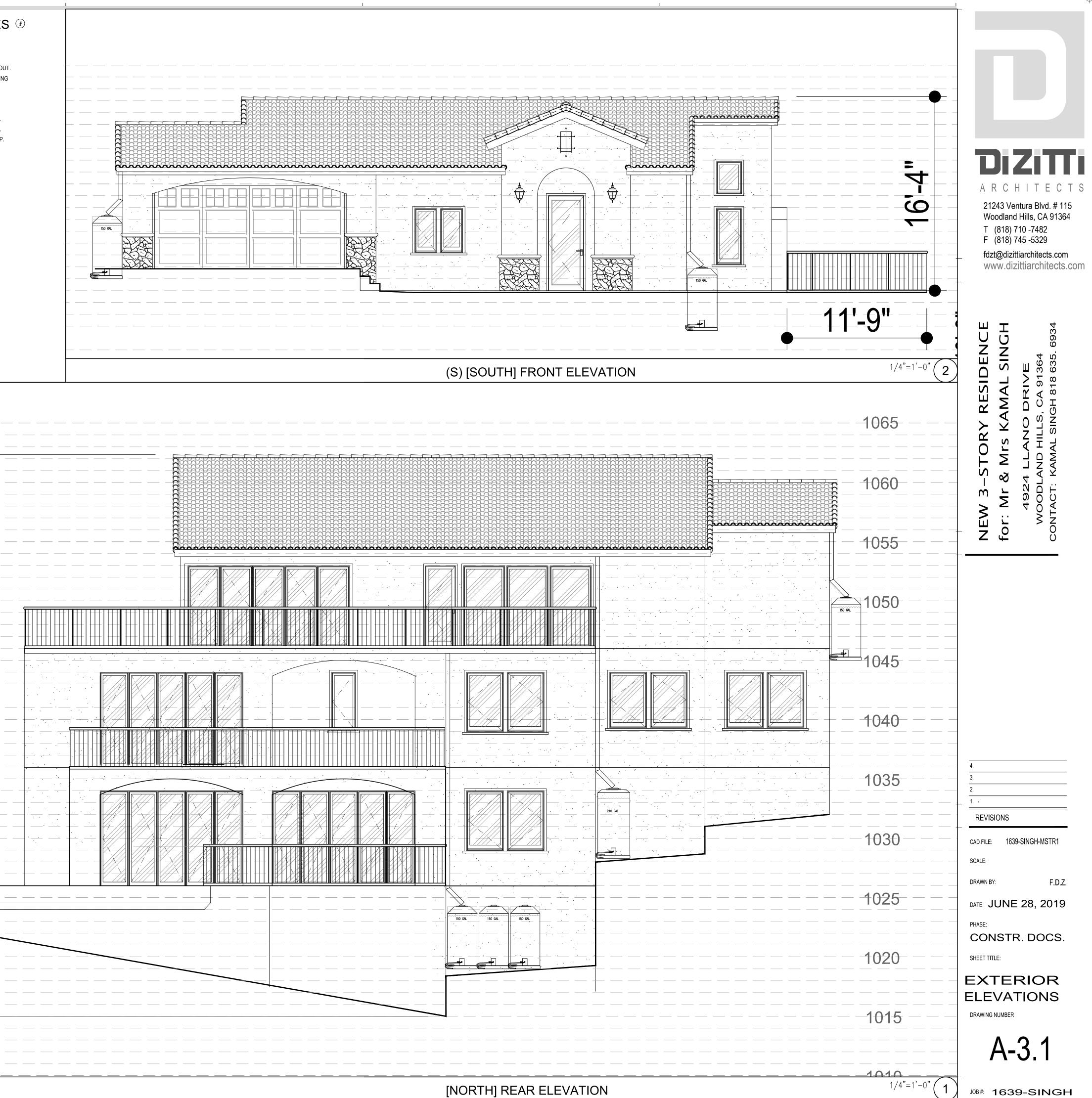


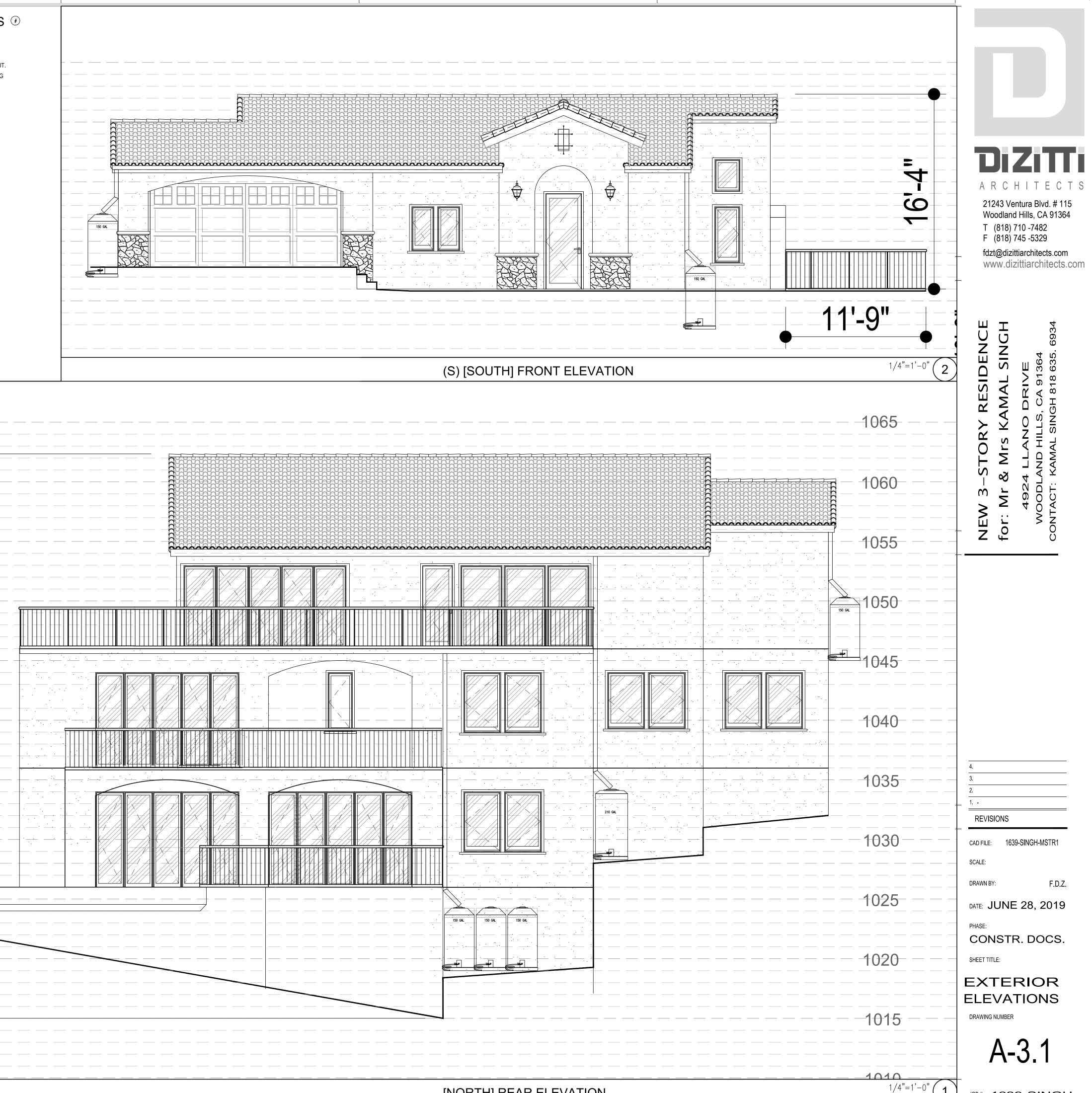
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ELEVATIONS / SECTIONS NOTES \circledast

- 1. EXTERIOR STUCCO OVER METAL LATH AND 15 LBS. MIN. FELT PAPER
- COLOR AND TEXTURE TO BE SELECTED BY OWNER. 2. VINYL WINDOWS (SEE PLAN) DUAL PANE GLASS THROUGHOUT.
- 3. VINYL PATIO DOORS AND SIDELIGHTS (SEE PLAN) DUAL PANE GLASS THROUGHOUT.
- 4. CLASS 'A' FIRE RETARDANT 20 YR. MIN. 3-PLY MODIFIED BITUMEN ROOF COVERING
- 5. W.I RAILING 42" HIGH MIN.
- 6. DECK
- 7. RETAINING WALL
- 8. R-30 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP. 9. R-13 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP.
- 10. R-19 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP.
- 11. 2x CEILING JOIST PER ENGINEER
- 12. 2x ROOF RAFTER PER ENGINEER
- 13. 2x DOUBLE PLATE
- 14. 2x SILL PLATE 15. INTERNAL FINISHES
- 16. 6x TIMBER EXPOSED MEMBERS MIN. AT V.H.F.S.Z.
- 17. 2x FOUNDATION SILL PLATE
- 18. DEX-O-TEX ELASTOMERIC DECKING MATERIAL ICC-ESR 1757
- 19. 150 GAL. RAIN BARRELS





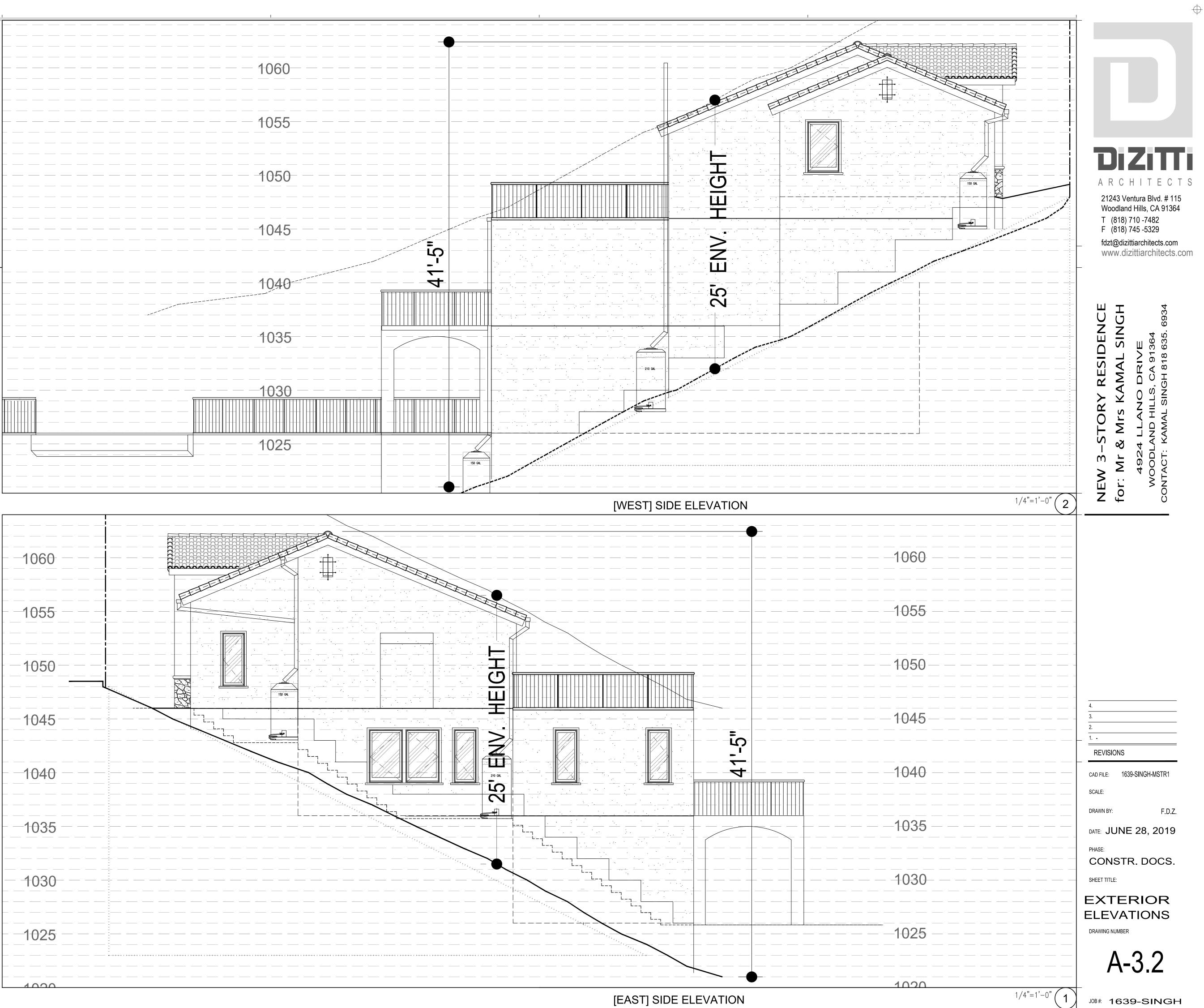


[NORTH] REAR ELEVATION

ELEVATIONS / SECTIONS NOTES

- 1. EXTERIOR STUCCO OVER METAL LATH AND 15 LBS. MIN. FELT PAPER COLOR AND TEXTURE TO BE SELECTED BY OWNER.
- 2. VINYL WINDOWS (SEE PLAN) DUAL PANE GLASS THROUGHOUT.
- 3. VINYL PATIO DOORS AND SIDELIGHTS (SEE PLAN) DUAL PANE GLASS THROUGHOUT.
- 4. CLASS 'A' FIRE RETARDANT 20 YR. MIN. 3-PLY MODIFIED BITUMEN ROOF COVERING 5. W.I RAILING 42" HIGH MIN.
- 6. DECK
- 7. RETAINING WALL
- 8. R-30 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP.
- 9. R-13 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP.
- 10. R-19 FIBER MINERAL BATT. INSULATION AT ALL NEW EXTERIOR STUD WALLS TYP. 11. 2x CEILING JOIST PER ENGINEER
- 12. 2x ROOF RAFTER PER ENGINEER
- 13. 2x DOUBLE PLATE
- 14. 2x SILL PLATE
- 15. INTERNAL FINISHES
- 16. 6x TIMBER EXPOSED MEMBERS MIN. AT V.H.F.S.Z.
- 17. 2x FOUNDATION SILL PLATE 18. DEX-O-TEX ELASTOMERIC DECKING MATERIAL ICC-ESR 1757
- 19. 150 GAL. RAIN BARRELS

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18. DEX-O-TEX ELASTOMERIC DECKING MATERIAL ICC-ESR 1757	
19. HEADER BY ENG.	
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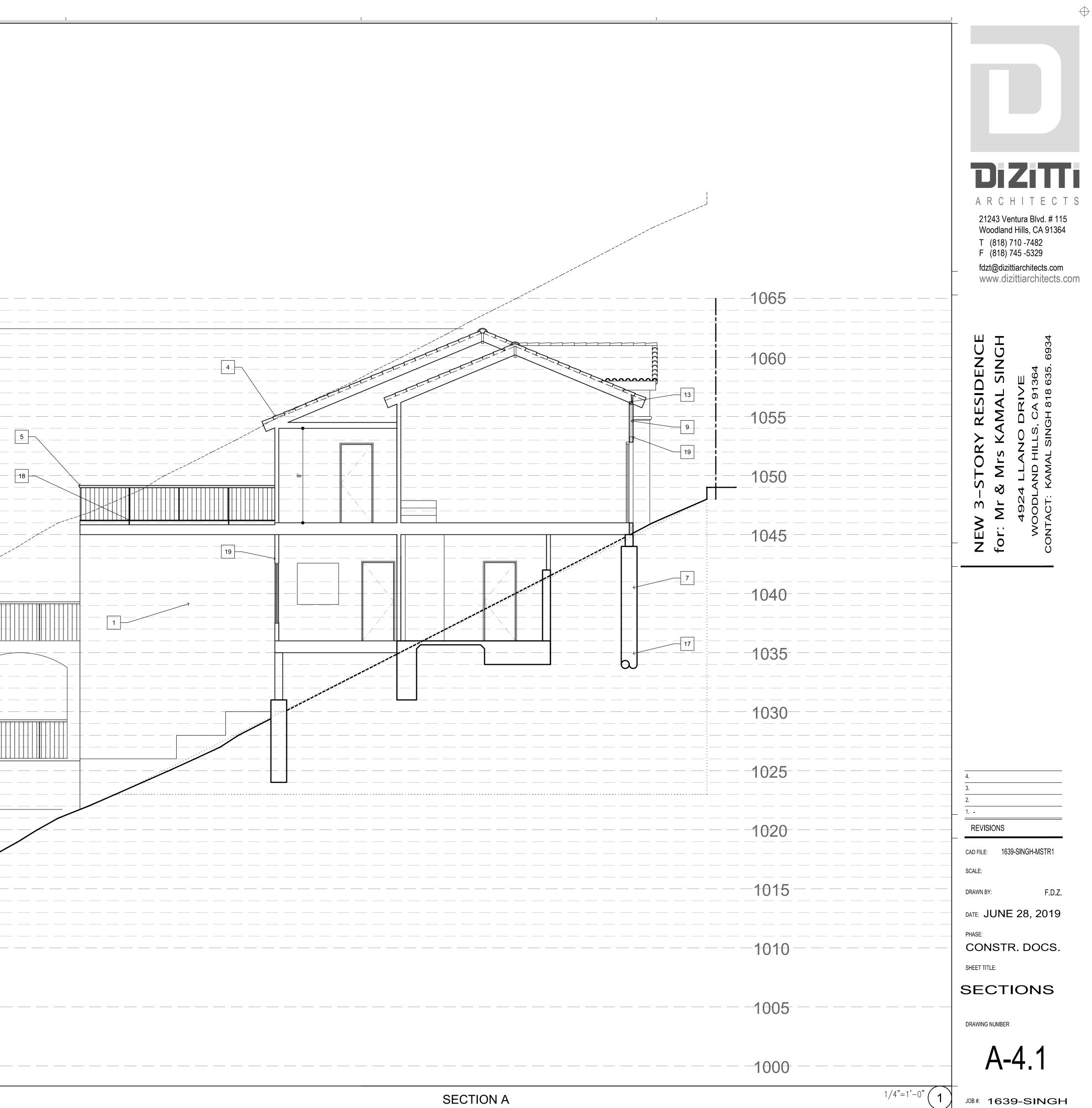
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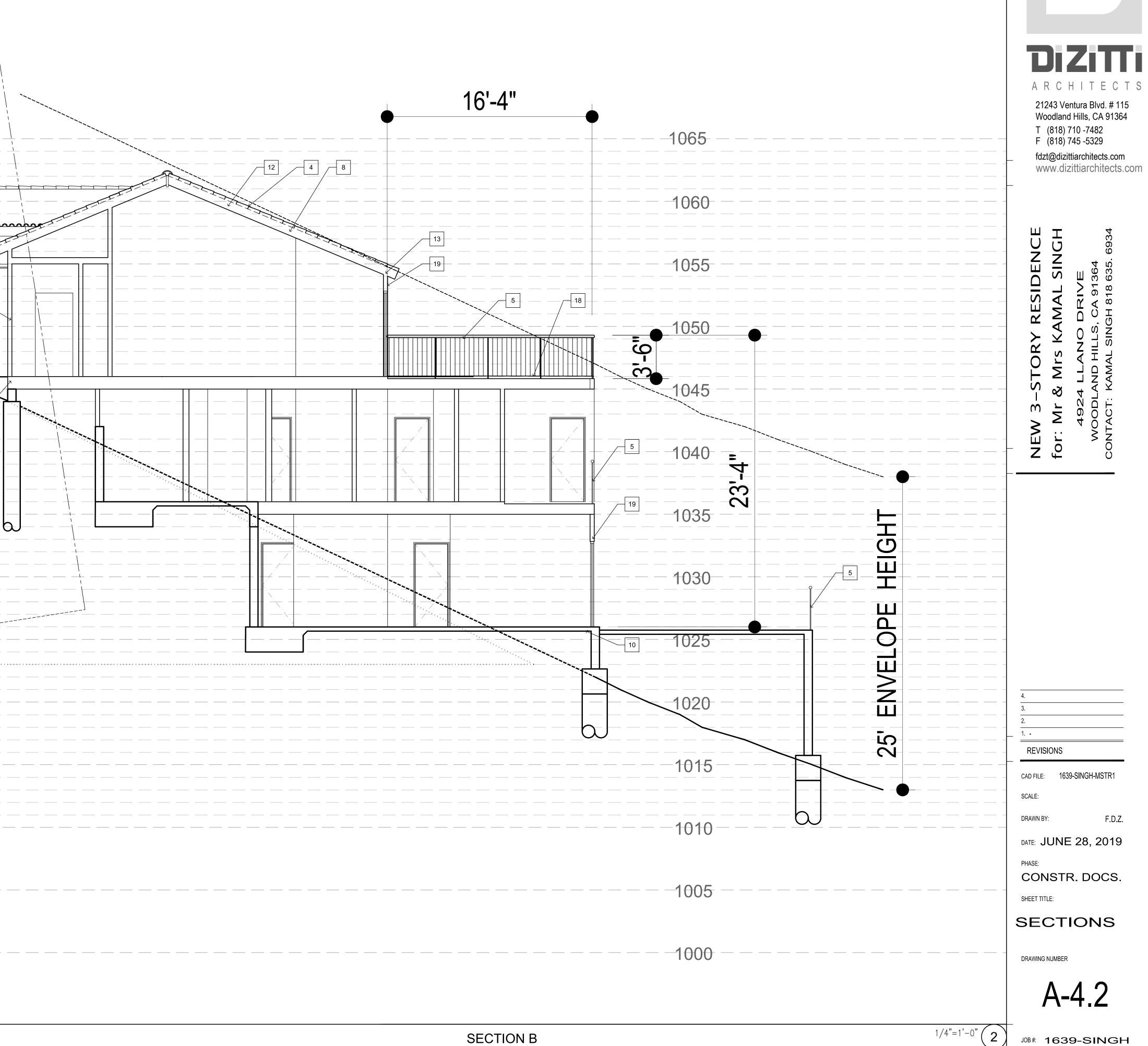
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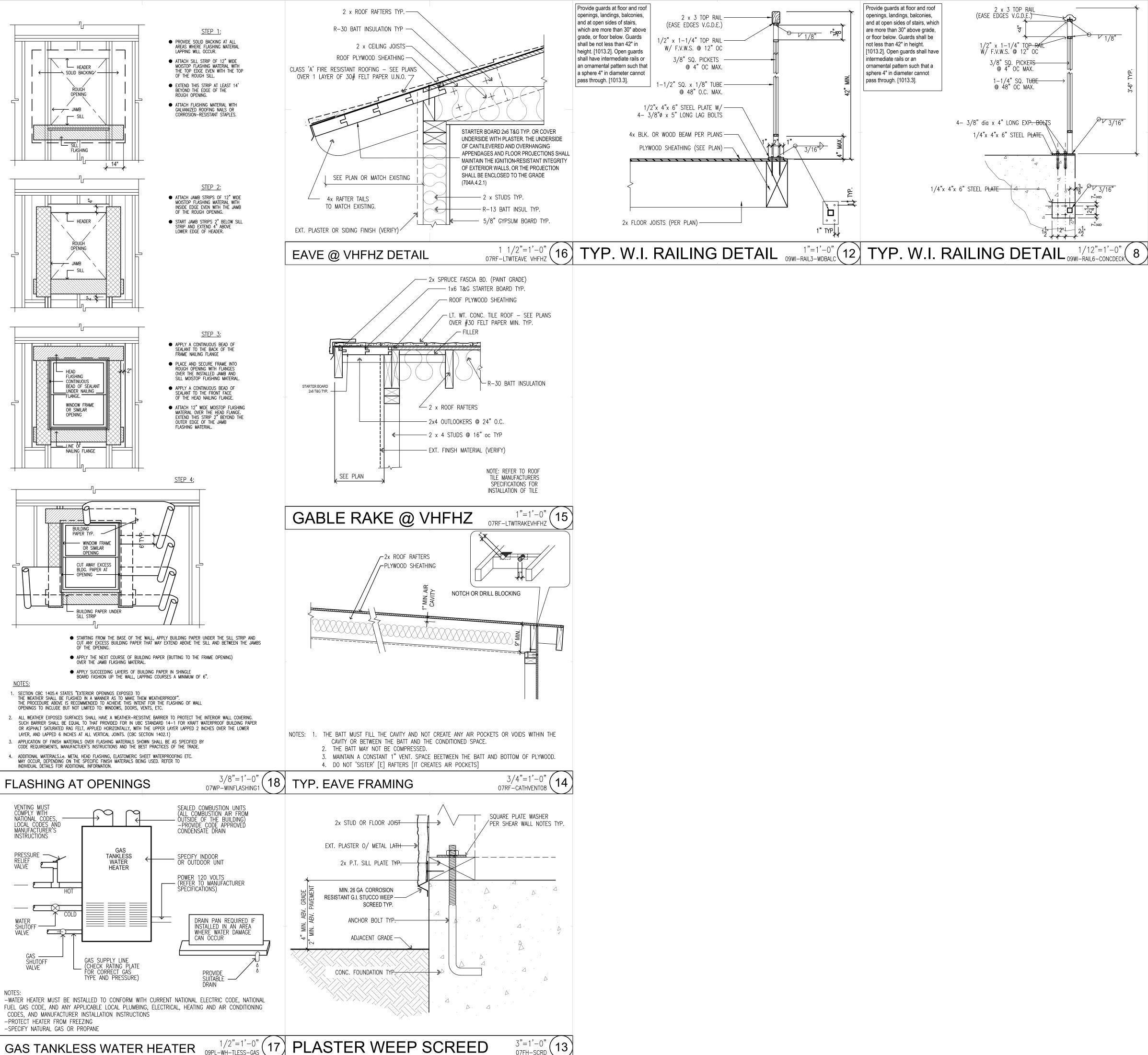


SECTION B





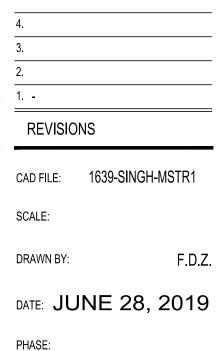
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION, FOR ANY PURPOSE WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF FERNANDO DI ZITTI, ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION, FOR ANY PURPOSE WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF FERNANDO DI ZITTI, ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT.



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CONSTR. DOCS. SHEET TITLE:



DRAWING NUMBER



1. GLAZING IN SWINGING, SLIDING, STORM AND BI-FOLD DOORS.

2. GLAZING LOCATED WITHIN 60—IN. OF THE FLOOR SURFACE IN TUBS. SHOWERS. SAUNAS. OR STEAM ROOMS. 3. GLAZING WITHIN A 24-IN. ARC OF EITHER VERTICAL EDGE OF DOORS AND WITHIN 60-IN. OF WALKING SURFACE

4. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS: A. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SF. B. EXPOSED BOTTOM EDGE LESS THAN 18-IN. ABOVE THE FLOOR

C. EXPOSED TOP EDGE GREATER THAN 36-IN. ABOVE THE FLOOR.

D. ONE OR MORE WALKING SURFACES WITHIN 36-IN. HORIZONTALLY OF THE PLANE OF THE GLAZING 5. GLAZING IN GUARDS AND RAILINGS REGARDLESS OF HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.

6. GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPA WHERE ALL OF THE FOLLOWING CONDITIONS ARE PRESENT: A. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-IN. ABOVE THE WALKING SURFACE.

B. THE GLAZING IS WITHIN 60-IN. OF THE WATER'S EDGE.

7. GLAZING ADJACENT STAIRWAYS, LANDINGS AND RAMPS WITHIN 36-IN. HORIZONTALLY OF WALKING SURFACE AND LESS THAN 60-IN. ABOVE WALKING SURFACE. 8. GLAZING ADJACENT STAIRWAYS WITHIN 60-IN. HORIZONTALLY OF BOTTOM TREAD OF STAIRWAY AND EXPOSED SURFACE IS LESS THAN 60-IN. ABOVE NOSE OF TREAD.

9. GLAZING IS WITHIN 40" OF A LOCKING DEVICE OF THE DOOR. (6714) **B.** CONSTRUCTION REQUIREMENTS

1. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3). 2. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALL

AND DOORS. ++EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306) - 3. GROUP R-3 SHALL HAVE A MINIMUM INTERIOR FINISH RATING OF CLASS C.(T-803.5)

4. PIPES, DUCTS AND OTHER NON-STRUCTURAL CONSTRUCTION SHALL NOT INTERFERE WITH ACCESSIBILITY TO OR WITHIN UNDER-FLOOR AREA. (1209.1.1)

5. GALV. STEEL (ZINC-COATED G90) (26 GAGE) ROOF VALLEY FLASHING IS REQUIRED. (T-1507.2.9.2) 6. ENTRY AND EXIT DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD EXCEPT WHEN DOORS DO NOT SWING OVER THE LANDING, THE LANDING SHALL NOT BE MORE THAN 7-3/4"

BELOW THE THRESHOLD [1008.1.4] 7. ENCLOSED USEABLE SPACE UNDER INTERIOR STAIRS REQUIRES ONE-HOUR FIRE RESISTIVE

CONSTRUCTION ON THE ENCLOSED SIDE. 8. PROVIDE TWO-LAYERS OF GRADE 'D' PAPER AS THE WEATHER-RESISTIVE BARRIER FOR PORTLAND

CEMENT PLASTER (STUCCO) WHEN APPLIED OVER WOOD SHEATHING (SUCH AS PLYWOOD). 9. ROOFING TO BE CLASS "A" FIRE RETARDANT (20 YEARS MIN. WARRANTY), TO BE INSTALLED ACCORDIN TO MANUFACTURER'S RECOMMENDATIONS. [R902.1]

10. THE CENTER OF ALL FLASHING FOR VENT PIPES, HEATER PIPES, ELECTRIC SERVICE CONNECTIONS, ETC., SHALL NOT BE LESS THAN 12" FROM THE CENTER OF ANY VALLEY OR PEAK, OR ANY HIP OR RIDGE.

11. WHERE FLASHING IS OF METAL, TO BE MIN. 26 GA. CORROSION RESISTANT 903.2.1 12. PROVIDE METAL FLASHING WEEP SCREED AROUND THE EXTERIOR PERIMETER OF THE BUILDING AT THE INTERSECTION OF MUDSILL AND CONCRETE FOOTING AT THE BOTTOM OF THE PLASTER, A MIN. 4-1/2" ABOVE GRADE/SLAB.

13. FLASH ALL EXTERIOR OPENINGS WITH APPROVED WATERPROOF BUILDING PAPER TO EXTEND 3" MIN. UNDER THE BUILDING PAPER BEHIND THE WALL COVERING. 14. a) SHOWERS AND WALLS€n LOCATIONSÈ\$:¤; ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE

FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET. [R307.2].

b) SHOWERS STALLS SHALL HAVE A CLEAR INTERIOR FINISH AREA OF 7.1 SQ. FT. AND BE ABLE TO ACCOMMODATE A MINIMUM 30 INCH CIRCLE AT THE THRESHOLD LEVEL. THESE CLEARANCES SHALL BE MAINTAINED UP TO A HEIGHT OF 70 INCHES ABOVE SHOWER DRAIN. [CPC 411.7]

15. FLOOR UNDER TUB & SHOWER STALL TO HAVE 2 LAYERS OF 15# FELT BONDED TO SUBFLOOR. SHOWER &/OR TUB DOOR SHALL SWING OUTWARD.

16. BATHROOM FLOORS REQUIRE A NON-ABSORBENT FLOOR COVERING. CERAMIC TILE TO BE PLACED OVER 3/4" PORTLAND CEMENT MORTAR AND REINFORCED WITH WIRE MESH (AS IN STUCCO) OVER 15# FELT BONDED TO SUBFLOOR. TILE WAINSCOT SHALL EXTEND FULL HEIGHT & 4" BEYOND THE FACE OF TUB OR SHOWER PAN.

17. PROVIDE 24" CLEAR SPACE IN FRONT OF ANY WATER CLOSET. [CPC 407.6] 18. PROVIDE ONE SQ. INCH OF ATTIC VENTILATION PER EACH SQ. FEET OF ATTIC AREA TO BE VENTILATED. ONE HALF OF THE REQUIRED VENTILATORS SHALL BE PLACED AT OR NEAR THE CROWN OF THE RIDGE OF THE ROOF. AS MAY APPLY, BAFFLES OR SCREENS TO BE PROVIDED AT ALL VENT OPENINGS IN ROOF. 19. OPENINGS INTO ATTICS, UNDERFLOOR AREAS AND OTHER ENCLOSED AREAS SHALL BE COVERED WITH

1/4" MIN. CORROSION RESISTANT WIRE MESH. (3205c) ED]. 20. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R 303.1 OR SHALL BE ILLUMINATED

WITH ARTIFICIAL LIGHTING CAPABLE OF PROVIDING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE FLOOR LEVEL [R303.1]IS NO 21. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. [R303.6]OV

22. BATHROOMS, WATER CLOSET COMPARTMENTS AND SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR MECHANICAL VENTILATION CAPABLE OF 50 cfm EXHAUSTING DIRECTLY TO THE OUTSIDE (R303.3

23. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FORM THE STREET OR ROAD FRONTING THE PROPERTY (R319.1)

24. PROTECTION FROM DECAY OF WOOD AND WOOD BASED PRODUCTS SHALL BE PROVIDED IN LOCATIONS SPECIFIED BY SECTION R 317.1, BY THE USE OF NATURALLY DURABLE WOOD, OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

25. NOTCHING OF EXTERIOR AND BEARING / NON-BEARING WALLS SHALL NOT EXCEED 25% / 40% RESPECTIVELY. BORED HOLES IN BEARING/NONBEARING WALLS SHALL NOT EXCEED 40% / 60% RESPECTIVELY. (2308.9.10, 2308.9.11)

26. ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS. 27. FLOORS SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR BLOCKED PANEL EDGES. PLYWOOD

SPANS SHALL COMPLY WITH TABLE 2304.7(3). 28. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.

29. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1) C. MEANS OF EGRESS:

1. IN SLEEPING ROOMS AND BASEMENTS, AT LEAST ONE WINDOW SHALL BE PROVIDED AS A MEAN OF ESCAPE OR RESCUE, THEY SHALL HAVE A MIN. CLEAR OPENING OF 20" WIDE, 24" HIGH, WITH A MIN. OF 5. SQ. FT. OPEN AREA, [5' AT GROUND LEVEL] AND A FINISHED SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FINISHED FLOOR. (R310.1)

2. THE CONSTRUCTION SHALL NOT RESTRICT A 5' CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES: POLES, PULL-BOXES, TRANSFORMER, VALVES, METERS, ETC.; OR TO THE LOCATION OF THE HOOK–UP. CO€nNSTRUCTION SHALL NOT BE WITHIN 10 FEELOCATIONSÈ\$:¤; T OF ANY POWER LINES, WETHER THE LINES ARE IN THE PROPERTY OR NOT. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

D. FIRE-RESISTANCE RATED CONSTRUCTION:

1. THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2.

2. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)

3. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS, PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVEL, AND AT 10-FT. INTERVALS BOTH VERTICAL AND HORIZONTAL.

(717.2) 4. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).

E. FIRE PROTECTION: 1. APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (R314). IN EXISTING S.F.D. THE SMOKE DETECTOR CAN BE BATTERY OPERATED.

2. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS (R315).

PLUMBING NOTES

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PLUMBING NOTES	ELECTRICAL NOTES	MECHANICAL NOTES MECHANICAL NOTES A MECHANICAL WORK TO BE DESIGN FULL D. LIVAG CONTRACTOR TO PROVIDE LOAD CALCO AND FOUNDMENT SOLUEDULE TO
1. ALL PLUMBING INSTALLATIONS SHALL CONFORM TO THE MOST RECENT CPC AND LOCAL CODE REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM TO ALL REQUIRMENTS.	1. ALL ELECTRICAL WORK SHALL COMPLY WITH EXISTING CODES AND REQUIREMENTS INCLUDING BUT NOT LIMITED TO OUTLETS, SWITCHES, SMOKE DETECTORS, ETC. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO INSURE THAT ALL REQUIREMENTS OF CODE ARE MET AND COMPLIED.	 MECHANICAL WORK TO BE DESIGN-BUILD. HVAC CONTRACTOR TO PROVIDE LOAD CALCS AND EQUIPMENT SCHEDULE TO ENSURE 70 deg. AT A POINT 3 FEET ABOVE THE FLOOR. <u>THE FOLLOWING ARE REQUIRED FOR THE FORCED AIR FURNACE IN A COMPARTMENT</u> (CAMC CHAPTER 9) <u>COMPARTMENT DIMENSIONS SHALL HAVE 3" MINIMUM CLEARANCE ON SIDES AND BACK /6" MINIMUM CLEAR FROM FRONT OF</u>
2. PLUMBING CONTRACTOR SHALL PROVIDE ALL PARTS REQUIRED FOR THE COMPLETE INSTALLATION OF FIXTURES, VALVES, AND TOILETS, AND ALL OTHER RELATED ITEMS.	 ELECTRIC LOAD DIAGRAM TO BE PROVIDED BY ELECTRICAL CONTRACTOR WHEN REQUIRED BY DEPT. OF BUILDING AND SAFETY APPROVAL OF UTILITY COMPANY REQUIRED PRIOR TO LOCATING ELECTRICAL METER, DO NOT LOCATE IT IN THE 	EQUIPMENT TO COMBUSTION AIR INTAKE. THE MINIMUM WIDTH PERMITTED IS 12" GREATER THAN THE EQUIPMENT. b. AREA OF COMBUSTION: AIR OPENINGS OF 1 SQ. INCH PER 1,000 BTU (100 SQ. INCH MINIMUM) IS REQUIRED INTO
3. 3" MIN WASTE FROM ALL TOILETS. USE CAST IRON WASTE OUTSIDE BUILDING PERIMETER. PROVIDE CLEANOUTS AS REQUIRED. PIPING SHALL BE MIN 18" BELOW FINISH GRADE.	EXTERIOR WALL OF SLEEPING QUARTERS. USE FLUSH MOUNTING RECESSED TYPE SERVICE EXTERIOR MOUNT WITH CIRCUIT BREAKERS. LOCATE SERVICE DISCONNECTS NEAREST THE POINT OF ENTRANCE OF THE SERVICE ENTRANCE	COMPARTMENT. HALF OF AREA WITHIN 12 INCHES OF CEILING AND HALF WITHIN 12 INCHES OF FLOOR. c. COMBUSTION AIR FROM ATTIC THROUGH 26 GAUGE GALVANIZED STEEL SLEEVE EXTENDING 6 INCHES MINIMUM ABOVE CEILING JOISTS WITHOUT SCREEN AT THE TOP (ATTIC TO HAVE ADEQUATE OPENINGS).
4. PLUMBING FIXTURES TO BE: "AMERICAN STANDARD" OR AS SPECIFIED BY OWNER.	CONDUCTORS (230-70(A) CEC]. 4. WHERE THE ELECTRICAL SERVICE IS LOCATED IN/ON THE ATTACHED GARAGE AND A FURRED GARAGE WALL IS THE METHOD USED TO RUN THE NON-METALLIC SHEATHED CABLES TO THE RESIDENCE THROUGH THE FIRE WALL. PROVIDE	d. COMBUSTION AIR FROM OUTSIDE TO COMPARTMENT WITH 1/4" SCREEN AT OUTSIDE OPENING. e. SEPARATE DUCTS FOR UPPER AND LOWER COMBUSTION AIR SUPPLY OPENINGS. 3. THE FOLLOWING ARE REQUIRED FOR FURNACE OR COMFORT COOLING EQUIPMENT IN AN ATTIC: (CAMC 904.11)
5. PLUMBING SHALL BE INSTALLED SUCH THAT NO STRUCTURAL MEMBER IS NOTCHED EXCEPT IN ACCORDANCE WITH CODE.	FIRE-STOPPING (E.G. 300-21) 5. IF THE PANEL/SUBPANEL IS LOCATED IN THE MIDDLE OF A SHEAR WALL, REVISE THE LOCATION OF THE PANEL OR HAVE THE ENGINEER OF RECORD ADDRESS SHEAR TRANSFER, INCREASED LOADING, AND EDGE REINFORCING AROUND	a. SCUTTLE 22" X 30" OR THE SIZE OF THE LARGEST PIECE OF EQUIPMENT AND LOCATED NOT OVER 20 FEET FROM EQUIPMENT IS REQUIRED. b. UNOBSTRUCTED PASSAGEWAY 24 INCHES WIDE x 30" HIGH WITH SOLID CONTINUOUS FLOORING FROM SCUTTLE TO
6. VENT PLUMBING TO THE REAR OF THE BUILDING. PLACE VENTS OUT OF VIEW WHENEVER POSSIBLE. ALL PLUMBING VENTS TO THE ROOF TO BE 10' MIN FROM THE PROPERTY LINE.	THE OPENING IN THE WALL. [2305.1.3 CBC] 6. AN "UFER" GROUND IS REQUIRED AS A PART OF THE GROUNDING ELECTRODE SYSTEM. THIS GROUND CONSISTS OF A MINIMUM 20' LENGTH OF ELECTRICALLY CONDUCTIVE #4 REINFORCING BAR ENCASED BY AT LEAST 2" OF CONCRETE AND	EQUIPMENT AND ITS CONTROLS. THE PASSAGEWAY SHALL BE AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE. c. UNOBSTRUCTED WORK SPACE OF 30" SQUARE MIN. IN FRONT OF EQUIPMENT WITH 30" MIN. HEADROOM.
7. ALL FIXTURES SHALL HAVE A SEPARATE SHUT OFF VALVE.	LOCATED NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING BAR ENCASED BY AT LEAST 2 OF CONCRETE AND 7. PROVIDE FLEX CONDUIT AND SOLID COPPER WIRE PER LOCAL CODE.	d. A 120 V RECEPTACLE AND A LIGHT NEAR THE EQUIPMENT W/ SWITCH AT SCUTTLE. e. VENT THROUGH ROOF A MIN. OF 5 FT ABOVE THE HIGHEST VENT COLLAR WHICH IT SERVES.
8. ALL HOSE BIBS SHALL HAVE ANTI SIPHON VALVES. HOSE BIBS SHALL BE 14" OR HIGHER ABOVE FINISH GRADE.	8. VERIFY FINAL LOCATION OF SWITCHES, FIXTURES, & OUTLETS WITH OWNER: QUANTITY PER CODE, LOCATION PER OWNER. ALL SWITCHES SHALL BE SILENT. ELECTRICIAN TO INSTALL T.V. OUTLETS PER OWNER'S DIRECTIVE.	 f. FURNACE INSTALLATION SHALL MEET ALL LISTED CLEARANCE. FAU IS NOT ALLOWED IN ATTICS OF TRUSSED ROOFS UNLESS REQUIRED CLEARANCES ARE PROVIDED. NO LINE CONTACT IS PERMITTED. 4. CLOTHES DRYER LOCATED IN AN AREA THAT IS HABITABLE OR CONTAINING OTHER FUEL BURNING APPLIANCES SHALL BE
9. PROVIDE SOLID COPPER WATER LINES INCLUDING SERVICE. SPECIFIED COPPER WATER LINES SHALL BE TYPE "L" MINIMUM (WHEN UNDER THE BUILDING). [604.2 CPC]	 TRANSFORMER AND BELL TO BE PROVIDED AT FRONT AND REAR ENTRY. INSTALL WALL SWITCHES @ 36" TO 40" A.F.F. AND OUTLETS @ 12" A.F.F. TYP. U.N.O. SMOKE DETECTORS SHALL BE PROVIDED. SEE GENERAL NOTES ON A-1. 	EXHAUSTED TO THE OUTSIDE OR TO AN AREA WHICH IS NOT HABITABLE OR CONTAINING OF THE OUTSIDE OR TO AN AREA WHICH IS NOT HABITABLE AND DOES NOT CONTAIN OTHER FUEL BURNING APPLIANCES (NOT BENEATH BUILDING OR IN ATTIC AREA.). PROVIDE MAKEUP AIR FOR THE CLOTHES DRYER. WHEN A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, A MINIMUM OPENING OF 100 SQ.IN. SHALL BE PROVIDED IN THE
10. GAS-FIRED WATER HEATERS SHALL COMPLY TO THE FOLLOWING: a. WATER HEATER IS NOT ALLOWED IN ANY BEDROOM, BATHROOM, OR CLOSET THAT OPENS INTO BEDROOMS OR	12. REFRIGERATORS, FREEZERS, & FLUORESCENT LAMP BALASTS SHALL BE CERTIFIED BY CEC 13. LAUNDRY FACILITIES SHALL BE ON SEPARATE CIRCUIT. [SEE NOTE #36 BELOW]	DOOR. [504.3.2 CMC] 5. CLOTHES DRYER MOISTURE EXHAUST DUCT SHALL BE SMOOTH, METAL DUCT, 4" IN DIAM. AND LENGTH IS LIMITED TO 14
BATHROOMS. b. WATER HEATER MUST BE STRAPPED AT TOP AND BOTTOM FOR LATERAL SUPPORT.	14. A MAXIMUM 8 OUTLETS PER 15 AMP BRANCH CIRCUIT - 10 OUTLETS PER 20 AMP BRANCH CIRCUIT. 15. WHERE NM CABLE (ROMEX) IS RUN ACROSS THE TOP OF CEILING JOISTS AND/OR WHERE THE ATTIC IS NOT ACCESSIBLE BY PERMANENT STAIRS OR LADDERS. PROTECTION WITHIN 6" OF THE NEAREST EDGE OF THE SCUTTLE	FEET WITH TWO ELBOWS FROM THE CLOTHES DRYER TO POINT OF TERMINATION. DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO. (CAMC 905) 6. ALL FAN SYSTEMS EXAUSTING AIR FROM THE CONDITIONED BUILDING ENVELOPE TO THE OUTSIDE SHALL BE PROVIDED
c. DOORS SERVING THE COMPARTMENT SHALL BE AT LEAST 24" WIDE. d. COMPARTMENTS WITHIN AN UNCONFINED AREA OF BUILDING SHALL HAVE AT LEAST TWO OPENINGS LOCATED WITHIN THE UPPER AND LOWER 12" OF ENCLOSURE FOR COMBUSTION AIR. EACH OPENING SHALL HAVE A MINIMUM	HOLE OR ATTIC ENTRANCE SHALL BE PROVIDED. (CEC 320-14) 16. PROVIDE A LISTED ARC-FAULT CIRCUIT INTERRUPTER COMBINATION TYPE PROTECTION FOR ALL OUTLETS (NOT	 ALL PAN STSTEMS EAROSTING AIR FROM THE CONDITIONED BOILDING ENVELOPE TO THE OUTSIDE SHALL BE PROVIDED WITH BACK-DRAFT DAMPERS TO PREVENT AIR LEAKAGE PER (T20-140302) THE RATED CAPACITY OF GAS CENTRAL HEATING EQUIPMENT SHALL NOT EXCEED: CAPACITY .3/DHL+(10 BTU/HR SF x FLR
DIMENSION OF 3" AND AN AREA OF AT LEAST 100 SQ. INCH. e. IF INSTALLED IN THE GARAGE, MOUNT ON TOP OF A PLATFORM WHICH PLACES THE SOURCE OF IGNITION AT LEAST	JUST RECEPTACLES) FOR DWELLING UNIT BEDROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS. [210.12 CEC]	AREA. 8. ALL WATER HEATING SPACE CONDITIONING EQUIPMENT AND OTHER FIXED APPLIANCES MUST BE CERTIFIED BY THE CALIF.
18" ABOVE THE FLOOR LEVEL. APPLIANCES SUCH AS THE WATER HEATER, INSTALLED IN THE GARAGE WHERE THEY MAY BE SUBJECT TO MECHANICAL DAMAGE, SHALL BE ELEVATED OR INSTALLED BEHIND PROTECTIVE BARRIERS. [508.14 CPC]	17. A SWITCHED LIGHT SHALL BE INSTALLED AT THE EXTERIOR SIDE OF OUTDOOR ENTRANCES OR EXITS WITH GRADE LEVEL ACCESS FOR DWELLING UNITS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRIC POWER. [210.70 CEC]	ENERGY COMISSION BEFORE INSTALLATION. 9. AIR CONDITIONERS AND CONDENSING UNITS SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENTS (EER) OF TABLE 112-A. 10. HEATING SYSTEMS IN WHICH MORE THAN 10% OF THE ANNUAL HEATING ENERGY REQUIREMENT IS MET BY ELECTRIC
11. USE DILECTRIC CONNECTIONS FOR DISSIMILAR MATERIALS. VIBRATION DAMPERS SHALL BE INSTALLED.	18. PROVIDE A DEDICATED 20-AMP CIRCUIT FOR RECEPTACLES IN DWELLING UNIT BATHROOMS. (CEC 210.11 (C)(3)) 19. WALLS 2 FEET WIDE OR GREATER SHALL HAVE AND OUTLET. OUTLETS SHALL BE SPACED NO MORE THAN 12 FEET	RESISTANCE HEATING SHALL NOT BE USED. 11. ALL GAS FIRED STORAGE WATER HEATING EQUIPMENT SHALL COMPLY WITH T-20-140 RECOVERY. EFFICIENCY SHALL NOT BE LESS THAN 75% & STANDBY LOSS NOT EXCEDING 2.3+67/CAPACITY (GAL)
12. MANUFACTURERS LINERS SHALL BE INSTALLED IN TUB DURING CONSTRUCTION FOR PROTECTION.	APART AND A MAXIMUM OF 6 FEET FROM END OF WALLS OR OPENING. CEC 210-52 (A) 20. IN THE KITCHEN AND DINING AREA A RECEPTACLE SHALL BE PROVIDED FOR EACH COUNTER SPACE WIDER THAN 12". UEC 210-52(B)(C) A MIN. OF(2) 20 AMP SMALL APPLIANCE BRANCH CIRCUITS IN KITCHEN, PANTRY, DINING ROOM, OR	12. ELECTRIC RESISTANCE WATER HEATING SYSTEMS SHALL NOT BE USED 13. NATURAL GAS SWIMMING POOL HEATING SYSTEMS WITHOUT SOLAR BACK UP SHALL NOT BE ALLOWED UNLESS SELECTED
 ALL TUBS TO HAVE A 12"x12" METAL ACCESS DOOR, OR SEALED TRAP INSTEAD. IAPMO APPROVAL IS REQUIRED FOR 1 PIECE LAV. 	SIMILAR AREA (MAX 3 OUTLETS PER CIRCUIT) 21. PROVIDE LIGHT FIXTURES IN CLOSETS THAT COMPLY WITH (2007 CEC 410.8) SURFACE MOUNTED LIGHTING FIXTURES	ON THE BASIS OF THE LOWEST LIFE CYCLE COST OF EQUIVALENT GAS AND SOLAR ENERGY SYSTEMS. T-20-1406 B CALCS MUST BE PROVIDED. 14. GAS FIRED APPLIANCES HAVG AND COO R WF GAS FIRED APPLIANCES HAVING STANDARD GAS PILOTS ARE
14. IAPMO APPROVED SEISMIC GAS SHUTOFF VALVE SHALL BE INSTALLED ON THE DOWN STREAM SIDE OF THE GAS METER.	MUST BE 12" FROM STORAGE AREAS. FLUSH MOUNTED MUST BE 6" AWAY. CEC 410-8 22. A 125V. SINGLE PHASE 20 AMP RECEPTACLE SHALL BE INSTALLED AT AN ACCESIBLE LOCATION FOR THE SERVICING	PROHIBITED. SHALL NOT BE ALLOWED UNLESS SELECTED ON THE BASIS OF THE LOWEST LIFE CYCLE COST OF EQUIVALENT GAS AND SOLAR ENERGY SYSTEMS. T-R FUEL BURNING APPLIANCES (NOT BENEATH BUILDING OR IN ATTIC AREA.). PROVIDE
RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING [L.A. ORD. 171874] OR PER LOCAL ORDINANCES.	OF HEATING AIR CONDITIONING AND REFRIGERATION EQUIPMENT. 23. AT LEAST ONE WALL SWITCH CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, IN ALL HALLWAYS, BATHROOMS, STAIRWAYS, ATTACHED GARAGES, AT ALL EXITS AND AT EACH FLOOR LEAVEL FOR	MAKEUP AIR FOR THE CLOTHES DRYER. WHEN A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, A MINIMUM OPENING OF PE.
16. TANKLESS WATER HEATERS SHALL BE NATIONALLY LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTIONS THAT WERE APPROVED AS PART OF THEIR LISTING." "THE GAS PIPING SERVING THIS APPLICANCE MUST BE SIZED IN COMPLIANCE WITH THE WATER UPATERIS LISTED INSTALLATION INSTRUCTIONS AND THE	INTERIOR STAIRWAYS, WHERE FLOOR LEVELS DIFFER BY SIX OR MORE STEPS. 24. AT LEAST ONE LIGHTING OUTLET CONTROLED BY A SWITCH INSTALLED AT THE POINT OF ENTRY SHALL BE	A. MANUFACTURED DOORS AND WINDOWS, EXTERIOR JOINTS & OPENINGS SHALL HAVE AIR INFILTRATIONING STANDARD GAS PILOTS ARE PROHIBITED. 15. PORTIONS OF SUPPLY-AIR AND RETURN-AIR DUCTS AND PLENUMS SHALL EITHER BE INSULATED TO A MINIMUM INSTALLED
APPLIANCE MUST BE SIZED IN COMPLIANCE WITH THE WATER HEATER'S LISTED INSTALLATION INSTRUCTIONS AND THE 2010 CALIFORNIA PLUMBING CODE."	INSTALLED IN AN ATTIC, UNDER FLOOR SPACE, UTILITY ROOM, AND BASEMENT USED FOR STORAGE, CONTAINING REQUIRING SERVICE AT OR NEAR THE EQUIPMENT REQUIRING SERVICE. THE SAME LIGHTING CONDITIONS SHALL BE	LEVEL OF R-4.2 OR BE ENCLOSED ENTIRELY IN CONDITIONED SPACE. IF THE PACKAGE METHOD IS USED, HIGHER MINIMUM INSULATION MAY APPLY. [150(K)(M) CENC]
17. TANK-TYPE TOILETS SHALL HAVE A MAXIMUM FLUSH OF 1.28 GALLONS [402.2 CPC]	PROVIDED FOR HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT IN ATTIC OR UNDER FLOOR SPACES. CEC 210-70. 25. HEATING AND COOLING EQUIPMENT SHALL BE PROVIDED AN ELECTRICAL RECEPTACLE AND SWITCH CONTROLLED	16 TO PREVENT AIR LOSS, ALL JOINTS, ALL TRANSVERSE DUCT, PLENUM AND FITTING JOINTS SHALL BE SEALED WITH PRESSURE-SENSITIVE TAPE OR MASTIC. ALL PRESSURE-SENSITIVE TAPES, MASTICS, AEROSOL SEALANTS, OR OTHER CLOSURE SYSTEMS USED FOR INSTALLING FIELD-FABRICATED DUCT SYSTEMS SHALL MEET THE APPLICABLE REQUIREMENTS
18. SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. [418 CPC]	LIGTHING FIXTURE. THE RECEPTACLE SHALL BE INSTALLED WITHIN 25' OF HEATING AND COOLING EQUIPMENT. THE LIGHTING FIXTURE SHALL BE CONTROLLED BY A SWITCH LOCATED AT THE PASSAGEWAY LEADING TO THE HEATING OR COOLING EQUIPMENT AND SHALL BE PROVIDE AT THE POINT OF ENTRY TO THE ATTIC OR UNDERFLOOR SPACE HOUSING	OF UL181, UL181A OR UL 181B." [124(B)(2) CENC] 17. JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION." [117 CENC],
19. IF A WHIRLPOOL BATHTUB IS INSTALLED, PROVIDE A REMOVABLE PANEL FOR THE PUMP LOCATED NOT MORE THAN	SUCH EQUIPMENT. 26. ALL OUTLETS AND LIGHTS IN EXTERIOR WALLS AND THE SECOND FLOOR CEILING TO HAVE AIRTIGHT ELEC. BOXES.	INCLUDING: EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALL SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.
20' FROM THE PUMP IF THROUGH A CRAWL SPACE. THE PANEL SHALL BE LARGE ENOUGH TO ACCESS AND REMOVE THE PUMP. [414.1 CPC]	27. PROVIDE AN EXHAUST FAN WITH A MIN. CAPACITY OF 50 CFM/UNIT FOR ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS, AND SIMILAR BATH FIXTURES (CBC 1203.4.2.1 & CMC 403.7 & TABLE 4-4)	 A MASONRY OR FACTORY BUILT FIREPLACE, IF INSTALLED, SHALL HAVE THE FOLLOWING: A) CLOSABLE METAL OR GLASS DOOR COVERING THE ENTIRE OPENING OF THE FIRE BOX; B) A COMBUSTION AIR INTAKE TO DRAW AIR FROM THE OUTSIDE OF THE BUILDING DIRECTLY INTO THE FIREBOX WITH A
20. GAS PIPING: MATERIALS: CPC 1209.5.2.2 STEEL AND WROUGHT-IRON PIPE SHALL BE NOT LESS THAN STANDARD WEIGHT (SCHEDULE 40) AND SHALL COMPLY WITH ONE OF THE FOLLOWING STANDARDS:	28. ARTIFICIAL LIGHT IN BATHROOMS TO PROVIDE ILLUMINATION OF 10-FOOTCANDLES AT 30" ABOVE THE FLOOR (CBC1205.3). 29. ALL 120-VOLT. SINGLE PHASE. 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING	MINIMUM 6 SQ. INCH IN AREA A TIGHT FITTING DAMPER OR COMBUSTION -AIR CONTROL DEVICE, FOR EXCEPTION SEE 150(E) 1B C) A FLUE DAMPER WITH A READILY ACCESSIBLE CONTROL.
ASME B36.10, WELDED AND SEAMLESS WROUGHT-STEEL PIPE ASTM A 53, STANDARD SPECIFICATION FOR PIPE, STEEL, BLACK AND HOT-DIPPED, ZINC-COATED WELDED AND	UNIT BEDROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (CEC 210.12(B))	19. ALL CHIMNEYS SHALL BE EQUIPPED WITH APPROVED SPARK ARRESTORS WITH A NET AREA OF OPENING FOUR TIMES THAT OF THE CHIMNEY.
SEAMLESS ASTM A 106, STANDARD SPECIFICATION FOR SEAMLESS CARBON STEEL PIPE FOR HIGH-TEMPERATURE SERVICE [NFPA 54:5.6.2.2]	30. ALL SERVICES SUPPLYING A BUILDING SHALL HAVE THE SAME GROUNDING ELECTRODE SYSTEM. (CEC 250.58) 31. PROVIDE FOR EACH BUILDING, SEPARATE MEANS FOR DISCONNECTING ALL UNDERGROUND CONDUCTORS [225-8(B)	20. ALL FIREPLACES SHALL BE EQUIPPED WITH GLASS DOORS IN COMPLIANCE WITH TITLE 24 ENERGY CONSERVATION REGULATIONS. 21. USE ONLY APPROVED TERMINATION CAPS SUPPLIED BY THE MANUFACTURER FOR PREFABRICATED METAL CHIMNEYS.
21. HORIZONTAL DRAINAGE PIPING SHALL BE RUN IN PRACTICAL ALIGNMENT AND A UNIFORM SLOPE OF NOT LESS THAN	CEC]. 32. BRANCH CIRCUIT OVERCURRENT DEVICES (FUSES AND BREAKERS) SHALL NOT BE LOCATED WHERE THEY WILL BE EXPOSED TO PHYSICAL DAMAGE, IN THE VICINITY OF EASILY IGNITABLE MATERIALS, SUCH AS IN CLOTHES CLOSET, BATH,	22. THE FIRST 5 FEET OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NONRECIRCULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MINIMUM OF 1" (.75") THICK INSULATION FOR HOT (COLD) WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2 INCHES OR 1.5" (1") FOR HOT (COLD) WATER PIPES WITH A DIAMETER GREATER THAN 2 INCHES."
1/4" PER FOOT (20.8 MM/M) OR 2% TOWARD THE POINT OF DISPOSAL PROVIDED THAT, WHERE IT IS IMPRACTICAL DUE TO THE DEPTH OF THE STREET SEWER, TO THE STRUCTURAL FEATURES, OR TO THE ARRANGEMENT OF ANY BUILDING OR STRUCTURE TO OBTAIN A SLOPE OF 1/4" PER FOOT (20.8 MM/M) OR 2 PERCENT, ANY SUCH PIPE OR PIPING 4" (100 MM) OR	OR TOILET ROOM. [240.24 CEC] 33. GROUND FAULT CIRCUIT INTERRUPTER (GFCI) RECEPTACLE PROTECTION IS REQUIRED AT THE FOLLOWING	[150(J)(2) CENC] 23. THE TOTAL AREA OF WINDOW TREATMENT USED IN THE CALCULATIONS SHALL BE INSTALLED FOR FINAL INSPECTION. SEE
LARGER IN DIAMETER MAY HAVE A SLOPE OF 1/4 PER FOOT (20.3 MM/M) OR 2 PERCENT, ANY SUCH PIPE OR PIPING 4 (100 MM) OR 1%, WHEN FIRST APPROVED BY THE LOCAL AUTHORITY (CPC 708)	LOCATIONS [210.8 CEC]: a. BATHROOMS (AT LEAST ONE SHALL BE WITHIN 3' OF THE OUTSIDE EDGE OF EACH BASIN); b. GARAGES; c. OUTDOORS; d. CRAWL SPACES AT OR BELOW GRADE LEVEL; e. KITCHENS WHERE THE RECEPTACLES SERVE THE	MICROPAS V2.1 FORM 2 SEC 5 SHADINGS DESCRIPTION, SLIDING GLASS DOORS SHALL HAVE A MIN CATEGORY CLASSIFICATION OF II PER MOST RECENT CABC STD.
22. ANY WATER SYSTEM PROVIDED WITH A CHECK VALVE, BACK- FLOW PREVENTER, OR ANY OTHER NORMALLY CLOSED	COUNTERTOP SURFACES; f. UNFINISHED BASEMENTS; g. LAUNDRY, UTILITY, AND WET BAR SINKS (WHERE THE RECEPTACLE IS WITHIN 6 FT OF THE OUTSIDE EDGE OF THE SINK)	24. GLAZING IN DOORS AND FIXED GLAZED PANELS OF MORE THAN 9" SHALL HAVE A MIN CATEGORY CLASSIFICATION OF I PER CABC STD. 25. BEFORE THE BUILDING CAN BE OCCUPIED INSTALLATION CERTIFICATES FOR MANUFACTURED DEVICES REGULATED BY
DEVICE THAT PREVENTS DISSIPATION OF BUILDING PRESSURE BACK INTO THE WATER MAIN SHALL BE PROVIDED WITH AN APPROVED, LISTED, AND ADEQUATELY SIZED EXPANSION TANK OR OTHER APPROVED DEVICE HAVING A SIMILAR FUNCTION TO CONTROL THERMAL EXPANSION. SUCH EXPANSION TANK OR OTHER APPROVED DEVICE SHALL BE	34. PROVIDE AT LEAST ONE GFCI RECEPTACLE IN THE GARAGE. [210.52 CEC] 35. A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE	THE APPLIANCE STANDARDS OF CH 2-53 SHALL BE POSTED ADJACENT TO THE BUILDING PERMIT. CERTIFICATE SHALL IDENTIFY FEATURES REQUIRED TO VERIFY COMPLIANCE WITH THE STANDARDS & CH 2-53.A. INCLUDE A STATEMENT INDICATING THAT
INSTALLED ON THE BUILDING SIDE OF THE CHECK VALVE, BACKFLOW PREVENTER, OR OTHER DEVICE AND SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION. (CPC 608.3)	OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY, BREAKFAST ROOM OR OTHER SIMILAR AREAS [210.11(C)(1) CEC] [210.52(B)(1)(2)(3)] 36. AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH	THE INSTALLED DEVICES CONFORM TO THE APPLIANCES STANDARDS & CH 2-53 AND THE REQUIRMENTS FOR SUCH DEVICES IN THE PLANS AND SPECIFICATIONS AS APPROVED BY THE LOCAL ENFORCEMENT AGENCY 26. THE AIR HANDLING DUCT SYSTEM SHALL BE CONSTRUCTED INSTALLED AND SEALED AND INSULATED AS PROVIDED IN CA
	CIRCUITS SHALL HAVE NO OTHER OUTLETS. [210.11(C)(2) CEC] 37. AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. SUCH	MECHANICAL CODE TITLE 24 PART 4 SEC 2-5318 A 27. THE SUPPLY HEATING AND COOLING ENERGY TO EACH SPACE-CONDITIONING ZONE OR DWELLING UNIT SHALL
	CIRCUITS SHALL HAVE NO OTHER OUTLETS. [210.11(C)(3) CEC] 38. SHOW A MINIMUM OF ONE WALL SWITCH CONTROLLED LIGHTING OUTLET IN EVERY HABITABLE ROOM. IN OTHER THAN KITCHENS AND BATHROOMS. ONE OR MORE RECEPTACLES CONTROLLED BY A WALL SWITCH ARE PERMITTED IN LIEU OF	BECONTROLLED BY AN INDIVIDUAL THERMOSTATIC CONTROL THAT RESPONDS TO TEMPERATURE WITHIN THE ZONE. [122(A) CENC] 28. DOORS & WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES INCLUDING CLOSETS FOR CENTRAL FORCED
	LIGHTING NOTES:	AIR FURNACES USING OUTSIDE COMBUSTION AIR SHALL BE DESIGNED TO LIMIT AIR LEAKAGE INTO OR FROM THE BUILDING ENVELOPE. A. MANUFACTURED DOORS AND WINDOWS, EXTERIOR JOINTS & OPENINGS SHALL HAVE AIR INFILTRATION RATES CERTIFIED
	LIGHTING NOTES: 1. PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY LUMINARIES. UP TO 50% OF THE	BY THE MANUFACTURER AS NOT EXCEEDING THOSE SHOWN IN TABLE 2-52 OF THE REGULATIONS. B. SITE CONSTRUCTED DOORS AND WINDOWS, EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE SHALL BE
	TOTAL RATED WATTAGE OF PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS MAY BE IN LUMINAIRES THAT ARE NOT HIGH EFFICACY LUMINAIRES, PROVIDED THAT THESE LUMINAIRES ARE CONTROLLED BY SWITCHES SEPARATE FROM	CAULKED GASKETED, SEALED, WEATHER STRIPPED OR OTHERWISE SEALED PER SEC 2-5317 A B G AND COO w A B C SITE CONSTRUCTED DOORS AND WINDOWS, EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED GASKETED, SEALED, WEATHER STRIPPED OR OTHERWISE SEALED PER SEC AKAGE INTO OR FROM THE BUILDING ENVELOPE.
	THOSE CONTROLLING THE HIGH EFFICACY LUMINAIRES. THE WATTAGE OF HIGH EFFICACY LUMINAIRES SHALL BE THE TOTAL NOMINAL RATED WATTAGE OF THE INSTALLED HIGH EFFICACY LAMP(S). [SECTION 150(K)2]	USED FOR INSTALLING FIELD-FABRICATED DUCT SYSTEMS SHALL MEET THE APPLICABLE REQUIREMENTS OF ULOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, A MINIMUM OPENING OF PE.
	 PERMANENTLY INSTALLED LIGHTING IN BATHROOM, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES OR A MANUAL-ON OCCUPANT SENSOR MUST CONTROL IT. SUCH SENSORS SHALL BE CAPABLE OF AUTOMATICALLY TURNING OFF THE LIGHTS NO MORE THAN 30 MINUTES AFTER THE AREA HAS BEEN VACATED." [150(K)(10) 	A. MANUFACTURED DOORS AND WINDOWS, EXTERIOR JOINTS & OPENINGS SHALL HAVE AIR INFILTRATIONC 29. A FAN EXHAUST SYSTEM IS REQUIRED FOR ROOMS WHERE NO NATURAL VENTILATION IS PROVIDED. EXHAUST SYSTEM SHALL BE CAPABLE OF PROVIDH ING A MIN. OF 5 AIR CHANGES PER HOUR, AND SHALL SWITCH ON SIMULTANEOUSLY WITH
	CENC] [119(J) CENC] [SECTION 150(K)3] 3. PERMANENTLY INSTALLED LIGHTING OTHER THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS AND	LIGHT SWITCH. 30. INSULATIONS: PROVIDE INSUL, MATERIAL AT RAISED FLOOR = R-19
	UTILITY ROOMS (EXCEPT CLOSETS LESS THAN 70 SQ. FT) SHALL BE HIGH EFFICACY OR A DIMMER MUST CONTROL IT. SECTION 150(K)4]	PROVIDE INSUL. MATERIAL IN EXTERIOR WALL= R-13 PROVIDE INSUL. MATERIAL IN CEILING/ROOF = R-30 31 LIPON COMPLETION ON THE INSTALLATION OF INSULATION, A CARD APPROVED BY THE BLDG, DEPT, CERTIEVING THAT THE

SECTION 150(K)4 4. LUMINARIES RECESSED INTO INSULATED CEILINGS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION CONTACT (IC) BY THE UNDERWRITERS LABORATORIES OR OTHER RECOGNIZED TESTING/RATING LABORATORY AND SHALL INCLUDE A LABEL CERTIFYING AIR TIGHT (AT) TO SHOW AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS(1.75 #/SF) WHEN TESTED IN ACCORDANCE WITH ASTM E 283 PER 2008 BUILDING ENERGY STDS., AND SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND CEILING.[150(K)(12) 5. OUTDOOR LIGHTING ATTACHED TO A BUILDING MUST BE HIGH EFFICACY, OR CONTROLLED BY A MOTION SENSOR

WITH INTEGRAL PHOTO CONTROL. PHOTO CONTROL IS AN ELECTRIC DEVICE THAT DETECTS CHANGES IN ILLUMINATION, THEN CONTROLS ITS ELECTRIC LOAD AT PREDETERMINED ILLUMINATION LEVELS." [150(K)(13) CENC] [101 CENC]. MOTION SENSORS USED IN CONJUNCTION WITH OUTDOOR LIGHTING LUMINAIRES SHOULD HAVE THE CAPABILITY OF TURNING THE LIGHTS ON AUTOMATICALLY. [SECTION 150(K)6]

6. OUTDOOR FIXTURES INCLUDING LUMINAIRES SHALL BE LISTED FOR OUTDOOR USE (CEC 552.59(A)) 7. NON-HIGH EFFICACY LUMINARIES MUST BE SWITCHED ON A SEPARATE CIRCUIT FROM HIGH EFFICACY LUMINARIES. 8. HIGH EFFICACY LUMINARIES MUST BE PIN BASED.

9. ALL FLUORESCENT FIXTURES TO BE RAPID START.

WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH. (91.6709.1 ITEM 2) R-13 10. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROVIDE INSUL MATERIAL IN CEILING/ROOF = R-30 PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. (6710) 31. UPON COMPLETION ON THE INSTALLATION OF INSULATION, A CARD APPROVED BY THE BLDG. DEPT, CERTIFYING THAT THE 11. SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF ENERGY INSULATION STANDARDS, SHALL INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1 BE COMPLETED AND EXECUTED BY THE INSULATION INSTALLER AND BY THE BUILDER. THIS INSULTION COMPLIANCE CARD 12. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK SHALL BE POSTED AT LOCATION DESIGNATED BY THE BLDG DEPT FIELD INSPECTOR. WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE 32. SWINGING DOORS OR WINDOWS TO THE EXTERIOR SHALL BE FULLY WEATHER STRIPPED GASKETED, OR OTHERWISE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711)

TREATED TO LIMIT AIR INFILTRATION. 33. ALL HOT WATER PIPING CONCEALED WITHIN AN EXTERIOR INSULATED WALL, SHALL BE LOCATED A MIN OF 1" FROM THE

BACKSIDE OF THE EXT. FINISH WITH THE WALL INSULATION BETWEEN THE TWO. 34. PIPES, DUCTS AND OTHER NON-STRUCTURAL CONSTRUCTION SHALL NOT INTERFERE WITH ACCESSIBILITY TO OR WITHIN UNDERFLOOR AREA (CABC 2516-C2)

35. DUCTS THROUGH ATTACHED GARAGE INTO DWELLING SHALL BE MIN. 26-GA GALVANIZED STEEL. 36. AREA OF COMBUSTION AIR OPENINGS 1" PER 1000 BTU MIN 100" IS REQUIRED HALF THE AREA WITHIN 12' OF THE CEILING . HALF WITHIN 12" OF THE FLOOR. COMBUSTION AIR FROM THE ATTIC THRU 25 GA GALVANIZED STEEL SLEEVE.EXTEND MIN. ABOVE THE CLG JOISTS AND NOT SCREENED. ATTIC SHALL HAVE ADEQUATE OPENINGS PER MC 603. 37. COMBUSTION AIR FROM THE OUTSIDE TO COMPARTMENT WITH 1/4" SCREEN AT THE OUTSIDE OPENING PER MC 605.

38. CIRCULATING AIR SUPPLY 2" PER 1000 BTU IS REQUIRED. 39. 30" MIN CLEAR ABOVE A RANGE OR OPEN TOP BROILER WHEN EQUIPPED WHEN EQUIPPED WITH A METAL VENTILLATING

HOOD. VENT TO THE OUTSIDE. 40. NO GAS PIPING SHALL BE INSTALLED IN OR ON THE GROUND UNDER ANY BUILDING OR STRUCTURE. ALL EXPOSED GAS

PIPING SHALL BE A MIN 6" ABOVE GRADE OR STRUCTURE UPC 1003-I.

41. MOUNT THERMOSTATS AT 48" MAX ABOVE THE FINISH FLOOR.

42. ALL HVAC UNITS DESIGNED TO BE FIXED IN PLACE SHALL BE SECURELY FASTENED IN PLACE. 43. MEANS FOR INTERRUPTING THE ELECTRICAL SUPPLY TO THE AIR CONDITIONING EQUIPMENT AND TO ITS ASSOCIATED COOLING TOWER SHALL BE PROVIDED WITHIN SIGHT OF AND NOT OVER 50 FT. FROM THE AIR-CONDITIONER AND COOLING

TOWER [903 7 CMC] 44. PAD SUPPORTING COMPRESSOR/CONDENSER SHALL BE A MINIMUM OF 3" ABOVE GRADE.

L.A.F.D. - V.H.F.H.S.Z. NOTES (701A.3.2, 7201.2, 7207) 1. BASED ON CITY MAPS, THIS PROJECT IS LOCATED WITHIN VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ). IT SHALL COMPLY WITH REQUIREMENTS OF MATERIALS, SYSTEMS & CONSTRUCTION METHODS OF CHAPTER 7A AND CHAPTER 72.

a, CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS, WOOD SHAKES AND SHINGLES ARE NOT PERMITTED, (7207,4, 1505)

b. VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE (914MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (705A.3) c. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (705A.4)

d. ROOF, ATTIC AND EXTERIOR WALL) VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4 -INCH (6 MM) OPENINGS OR ITS EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES (706A.1, 706A.2, 706A.3, 7207.3)

e, EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE (707A.5.5) f. EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, HEAVY TIMBER OR LOG WALL CONSTRUCTION OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SFM 12-7A-1 (704A.3) g. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE ROOF, AND TERMINATE

AT 2-INCH (50.8 MM) NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE (704A.3.1) h. EXTERIOR WINDOWS, WINDOW WALLS, GLAZE DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS

SHALL BE INSULATING- GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE- RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO ASTM E 2010, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-2 (708A 2.1) I. EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND

RAILS NOT LESS THAN 1 3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 ¼ INCHES THICK. OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 2074. (EXCEPTION: NON-COMBUSTIBLE OR EXTERIOR FIRE-RETARDANT TREATED WOOD VEHICLE ACCESS DOORS) (708A.3) j. DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE

ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER, NON-COMBUSTIBLE OR OTHER APPROVED MATERIALS PER SEC.709A.3 k, THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION- RESISTANT INTEGRITY OF EXTERIOR WALLS. OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE (707A.8)

I. BUILDINGS SHALL HAVE ALL UNDERFLOOR AREAS COMPLETELY ENCLOSED TO THE GRADE WITH CONSTRUCTION AS REQUIRED FOR EXTERIOR WALLS (707A.8, 7207.1)

m. ALL UTILITIES, PIPES, FURNACES, WATER HEATERS OR OTHER MECHANICAL DEVICES LOCATED IN AN EXPOSED UNDER-FLOOR AREA OF A RESIDENTIAL BUILDING SHALL BE ENCLOSED WITH MATERIALS AS REQUIRED FOR 1-HOUR FIRE-RESISTIVE CONSTRUCTION (7207.2) n. THE SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS AND BE FIRE STOPPED PER 705A.2.

0. NO TRELLIS IS PERMITTED WITHIN 10 FEET OF THE PRIMARY STRUCTURE p. TRELLIS MORE THAN 10 FEET FROM THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER OR NON-COMBUSTIBLE MATERIALS. MINIMUM OF 4 INCHES SPACING IS REQUIRED BETWEEN THE MEMBERS. (INFORMATION BULLETIN No. P/BC 2008-023),

NOTE: VISIT http://osfm.fire.ca.gov/strucfireengineer/pdf/bml/wuiproducts.pdf FOR THE LIST OF PRODUCTS THAT MEET SFM 12-7A-3 AND SFM 12-7A-1 FOR EAVES AND EXTERIOR WALLS OF PROJECTS IN VHFHSZ.

GENERAL SECURITY NOTES GEN-L.A.CITY-SEC-MIN

1 ALL ENTRY DOORS TO DWELLING LINITS OR CLIEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. (6706) 2. SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL

BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. (6707)

3. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. 91.6709.1 DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE JAMB. (6709.4)

4. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. (6708) 5. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. (91.6709.5, 6709.7)

6. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES). (6709.2)

7. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2) 8. THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A NONREMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL NOT BE SEPARATED BY MORE THAN 8 INCHES.

9. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS

13. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.

14. IN B, F, M, AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 48 IN, SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES (6714)

15. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. (6713) 16. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" ORLESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY. (6715.3) 17. OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM

9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2) 18. SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 6715.1 19. SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.2. 20. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT

EXCEEDS TWO INCHES IN ANY DIMENSION. (91.6715.4) 21. ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION. (91.6716)



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